

TOWN OF DAMARISCOTTA

PLANNING BOARD MEETING AGENDA

When: Monday, April 4, 2022 - 6:00 PM

Where: Town Office

Note - Also available by Zoom

Join Zoom Meeting

<https://us02web.zoom.us/j/82594481062>

Meeting ID: 825 9448 1062

Pledge of Allegiance

REGULAR MONTHLY MEETING for April 4, 2022

MINUTES March 7, 2022 Meeting

A. OLD BUSINESS - None

B. NEW BUSINESS

1. 11 Fir Tree Lane – Shoreland Zoning Permit - Re-Approval
2. Municipal Parking Lot – Shoreland Zoning Permit – Construction of a Flood Wall and Riverfront Park and Stormwater Improvements

C. OTHER

1. Questions from the public
2. Housekeeping
3. Planner's Reports

D. ADJOURN

## Memorandum

**To:** Damariscotta Planning Board  
**Fm:** Bob Faunce  
**Date:** January 21, 2021  
**Re:** 11 Fir Tree Lane – Shoreland Zoning Permit Re-Approval

---

On February 1, 2021 the Planning Board approved Dominique Pratt's Shoreland Zoning Permit application to remove two existing deteriorated structures and construct a new 1,186 sf building 62' from the high-water mark as determined by CEO Stan Waltz. The Planning Board found during a site visit that the rear of the developable portion of the lot was bounded by a power line right of way and agreed that a new building could be sited 62' from the high-water mark and still be 15' from the edge of the right of way. In its approval the Board required the applicant to retain a contractor certified by the State of Maine in erosion control to complete all site work. Based on that condition the Board found that:

- (1) Will maintain safe and healthful conditions; *the new building is substantially further from the pond than the existing camp*
- (2) Will not result in water pollution, erosion, or sedimentation to surface waters; *a contractor certified in erosion control will perform all site work*
- (3) Will adequately provide for the disposal of all wastewater; *septic system design submitted*
- (4) Will not have an adverse impact on spawning grounds, fish, aquatic life, bird or other wildlife habitat; *no impact*
- (5) Will conserve shore cover and visual, as well as actual, points of access to inland and coastal waters; *new building is further from the pond*
- (6) Will protect archaeological and historic resources as designated in the comprehensive plan; *no impact*
- (7) Will not adversely affect existing commercial fishing or maritime activities in a Commercial Fisheries/Maritime Activities district; *no impact*
- (8) Will avoid problems associated with floodplain development and use; *building site is not in floodplain*
- (9) Is in conformance with the provisions of Section 15, Land Use Standards. *Yes*

Due to delays associated with the Covid situation and her inability to find a contractor to begin work on the building in a timely manner, the permit expired on February 2, 2022. She has resubmitted her application and plans (attached) and asks the Board to re-approve them. Neither her plans nor the Shoreland Zoning Ordinance have changed since last year. I recommend re-approval of her application.

For Office Use Only:

Permit # \_\_\_\_\_

Issue Date: \_\_\_\_\_

Fee Amount: \_\_\_\_\_

## Town of Damariscotta Shoreland Zoning Application Form

### General Information

1. Applicant  
DOMINIQUE PRATT

2. Applicant's Address  
461 MAIN RD NORTH  
HAMPDEN, ME 04444

3. Applicant's Tel # and Email  
nikpratt@mac.com  
207.217.5979

4. Property Owner  
DOMINIQUE PRATT

5. Owner's Address  
(SAME AS ABOVE)

6. Owner's Tel # and Email  
(SAME AS ABOVE)

7. Contractor  
VINCENTSEN  
CONSTRUCTION, INC.  
(TODD VINCENTSEN)

8. Contractor's Address  
7 BIRCH ROCK LANE  
BRISTOL, ME 04539

9. Contractor's Tel # and Email  
todd@vincentsen.com  
207.592.0991

10. Location/Address of  
Property  
11 FIR TREE LANE  
DAMARISCOTTA

11. Tax Map/Lot & Date Lot  
Created  
MAP 013, LOT 001

12. Zoning District  
RESIDENTIAL

13. Description of Property Including a Description of all Proposed Construction, (e.g. Land Clearing, Road Building, Septic System, & Wells - Please Note that a Site Sketch is Required on Page 3).

SEE ATTACHED : • PROPOSED BUILDING PLAN & ELEVATION  
• LOT/SITE PLAN  
• EROSION CONTROL PLAN

SUBMITTED W/ ORIGINAL APPLICATION!  
• PROJECT DESCRIPTION  
• SEPTIC EVALUATION + DESIGN  
• EXISTING BUILDING PLAN + ELEVATION



14. Proposed Use of Project  
YEAR ROUND CAMP

15. Estimated Cost of Construction  
NOT DETERMINED

**Shoreland and Property Information**

16. Lot Area (sq. ft.)  
24.69 ACRES  
COMBINED W/  
MIP 002 LOT 004.001

17. Frontage on Road (ft.)  
# 620'

18. Sq. Ft. of Lot to be covered  
by Non-Vegetated Surfaces

19. Elevation Above 100-year  
Flood

20. Frontage on Water Body  
(ft.) 162'

21. Height of Proposed  
Structure 18'

22. Existing Use of Property

23. Proposed Use of Property

Note: Question 24 Applies Only to Expansions of Portion of Existing Structures which are Less than the Required Setback

24.A Total Floor Area of Portion of Structure  
which is Less than the Required Setback as of  
1/1/1989 \_\_\_\_\_ S.F.

24.B Floor Area of Expansions of Portion of  
Structure which is Less than the Required Setback  
from 1/1/1989 to Present  
\_\_\_\_\_ S.F.

24.C Floor Area of Proposed Expansion of Portion  
of Structure which is Less than the Required  
Setback \_\_\_\_\_ S.F.

24.D Percentage (%) Increase of Floor Area of  
Actual and Proposed Expansions of Portion of  
Structure which are Less than the Required  
Setback since 1/1/1989  
\_\_\_\_\_ S.F.

TOTAL SF OF PROPOSED  
STRUCTURE: 1186

(% Increase = (B+C)/A x 100)  
\_\_\_\_\_ %

### Site Plan

Please Include: Lot Lines; Area to be Cleared of Trees and Other Vegetation; the Exact Position of Proposed Structures, Including Decks, Porches and Outbuildings with Accurate Setback Distances from the Shoreline; Side and Rear Property Lines; the Location of Proposed Wells, Septic Systems and Driveways; and Areas and Amounts to be Filled or Graded. If the Proposal is for Expansion of an Existing Structure, Please Distinguish between the Existing Structure and the Proposed Expansion. **Note: For All Projects Involving Filling, Grading or other Soil Disturbance You Must Provide a Soil Erosion Control Plan Describing the Measures to be Taken to Stabilize Disturbed Areas Before, During and After Construction (see Shoreland Zoning Ordinance Guidelines).**

Scale \_\_\_\_\_ = \_\_\_\_\_ ft.

SEE ATTACHED:

LOT/SITE PLAN:  $1/4" = 10'$

EROSION CONTROL PLAN  $3/8" = 10'$

**Front or Rear Elevation**

SEE ATTACHED

Note : Draw a Simple Sketch Showing Both the Existing and Proposed Structures with Dimensions. Please attach any Photos (with Labels) to back of Application

**Side Elevation**

SEE ATTACHED

Note: Draw a Simple Sketch Showing Both the Existing and Proposed Structures With Dimensions. Please Attach any Photos (with Labels) to Back of Application.

## Additional Permits, Approvals and/or Reviews Required

Check if Required

\_\_\_\_\_ Planning Board Review/Approval (e.g. Subdivision, Site Plan Review)

\_\_\_\_\_ Board of Appeals Review/Approval

\_\_\_\_\_ Flood Hazard Development Permit

\_\_\_\_\_ Exterior Plumbing Permit (Approved HHE-200 Application Form)

\_\_\_\_\_ Interior Plumbing Permit


\_\_\_\_\_ DEP Permit (Site Location, NRPA)

\_\_\_\_\_ Army Corps of Engineers (Sec. 404 of Clean Water Act)

Others:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

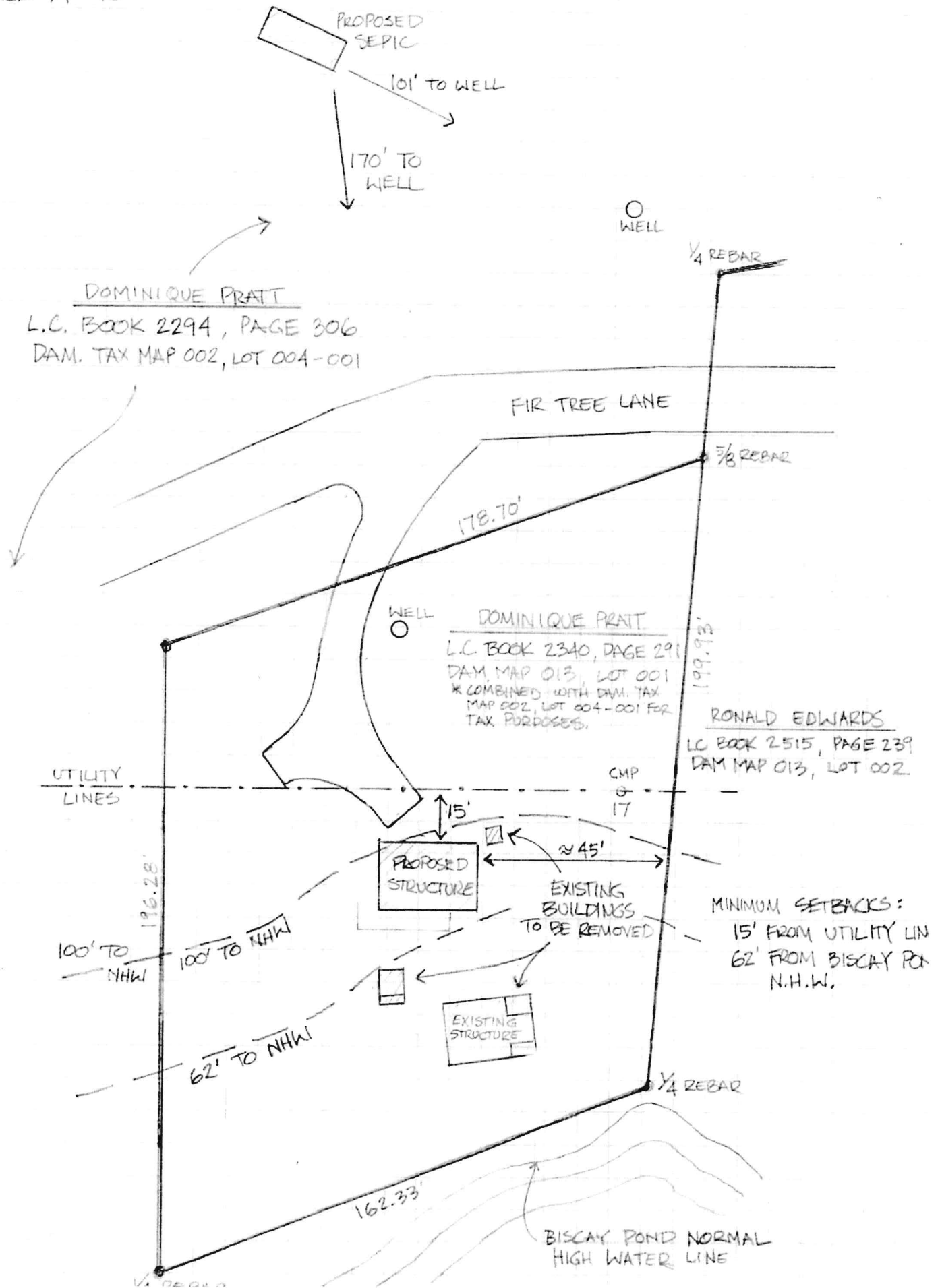
Note: Applicant is advised to consult with the Code Enforcement Officer and appropriate State and Federal Agencies to determine whether additional permits, approvals and/or reviews are required

<b>I Certify That All Information Given in this Application is Accurate. All Proposed Uses Shall be in Conformance with this Application and the Town of Damariscotta Shoreland Zoning Ordinance. I Agree to Future Inspections by the Code Enforcement Officer at Reasonable Hours.</b>	
 _____ Applicant's Signature	1.18.2021 _____ Date
_____ Agent's Signature (if applicable)	_____ Date

PRATT PROPERTY · 11 FIR TREE LANE

# 1

SCALE: 1/4" = 10'



# PRATT PROPERTY, 11 FIR TREE LANE

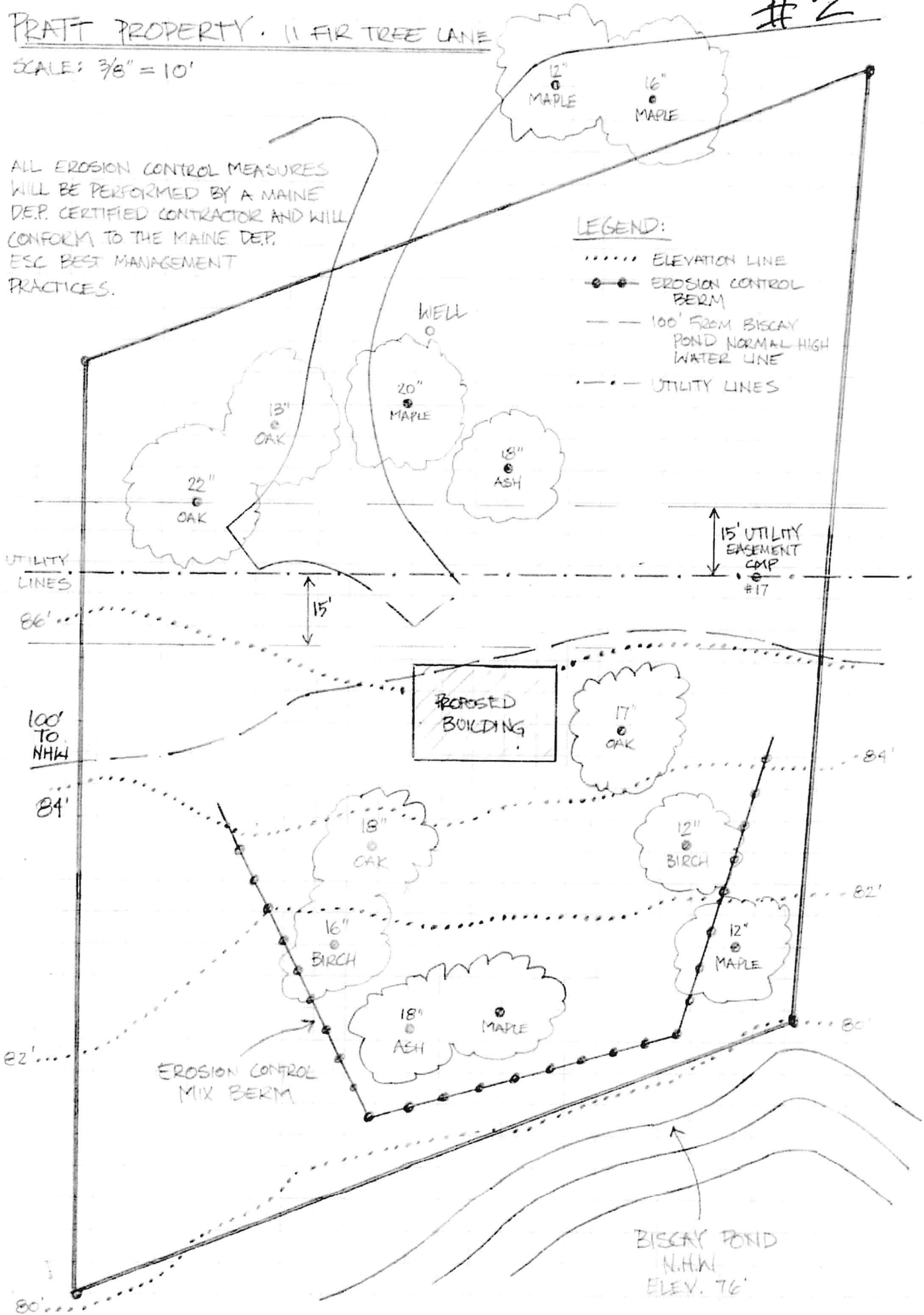
# 2

SCALE: 3/8" = 10'

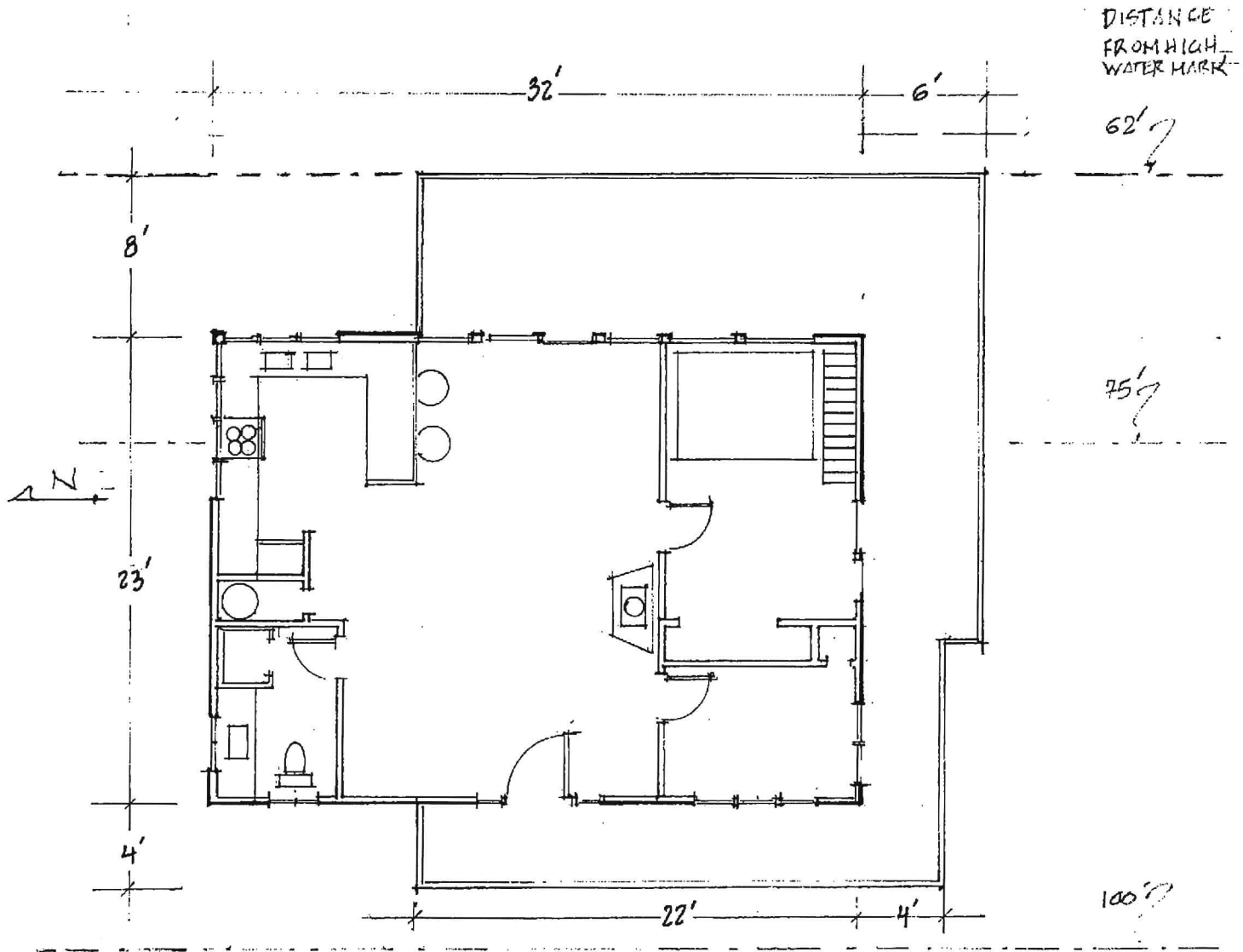
ALL EROSION CONTROL MEASURES WILL BE PERFORMED BY A MAINE DEP. CERTIFIED CONTRACTOR AND WILL CONFORM TO THE MAINE DEP. ESC BEST MANAGEMENT PRACTICES.

### LEGEND:

- ..... ELEVATION LINE
- EROSION CONTROL BERM
- - - 100' FROM BISCAY POND NORMAL HIGH WATER LINE
- - - UTILITY LINES



PRATT  
PROPOSED BUILDING  
SECOND REVISION



INTERIOR SF: 736

DECKING SF: 450

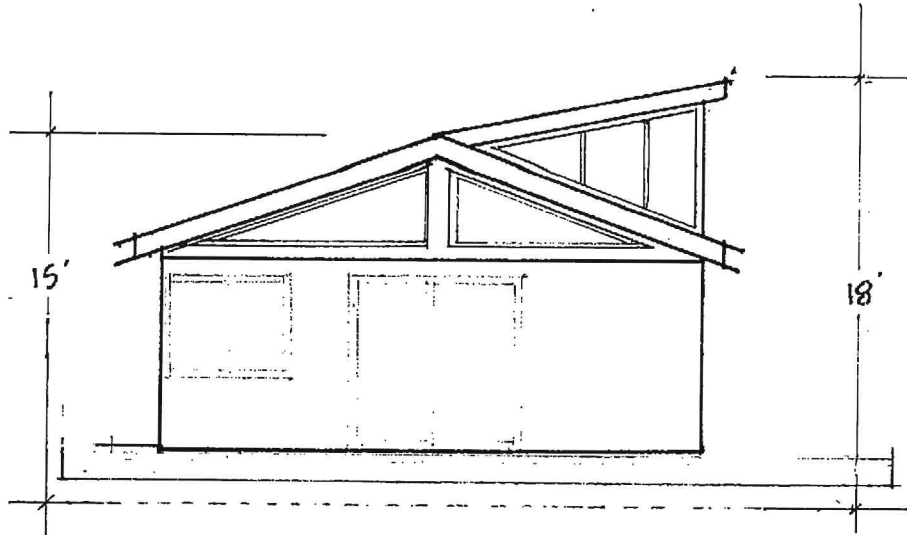
TOTAL SF: 1186

TOTAL WITHIN 62'-75' FROM HIGH WATER LINE: 414 SF

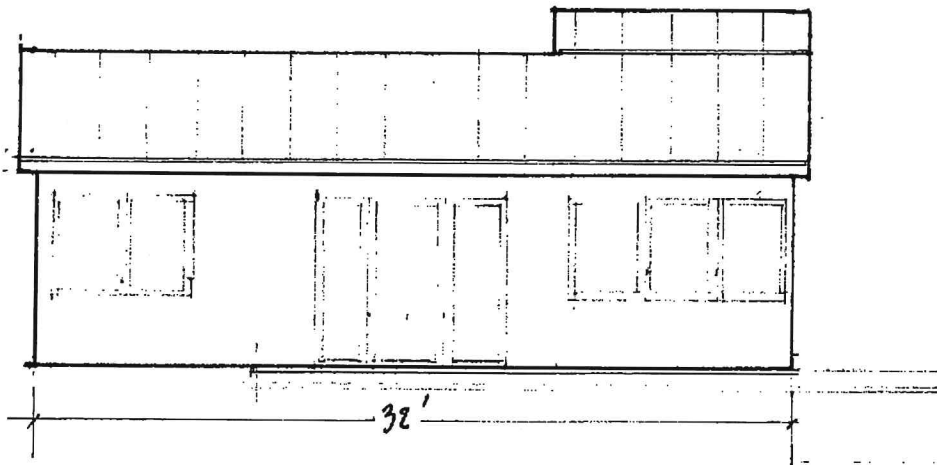
TOTAL WITHIN 75'-100' FROM HIGH WATER LINE: 772 SF

SCALE: 1/8" = 1'-0"

PRATT  
PROPOSED ELEVATIONS



SOUTH ELEVATION



WEST ELEVATION

SCALE:  $\frac{1}{8}'' = 1'-0''$



## Memorandum

**To:** Damariscotta Planning Board  
**Fm:** Bob Faunce  
**Date:** March 28, 2022  
**Re:** Municipal Parking Lot – Shoreland Zoning Permit – Construction of a Flood Wall and Riverfront Park and Stormwater Improvements

---

Wright-Pierce Engineers on behalf of the Town of Damariscotta has submitted a Shoreland Zoning Application to construct various improvements within and adjacent to the Municipal Parking Lot, a portion of which lies with the 75' SZ setback. The project consists of the following:

- Reconstruction of the parking lot
- Installation on an underground stormwater storage system with outlets to the river
- Construction of a new riverside park with pedestrian amenities, landscaping and a living shoreline to replace the existing park
- Construction of a floodwall to provide protection to 3' above the 100-year flood. The floodwall will accommodate view corridors, pedestrian access ways and the boat ramp, all of which will be protected by removable stop log barriers during high water conditions
- Designation of a pedestrian walkway from Taco Alley to the river

The project will require approval by the Army Corps, DEP and FEMA in addition to the Shoreland Zoning Permit. The application is being sent separately. If due to its size you cannot access the application, please let me know and a copy will be made for you.

For Office Use Only:  
Permit # \_\_\_\_\_  
Issue Date: \_\_\_\_\_  
Fee Amount: \_\_\_\_\_

## Town of Damariscotta Shoreland Zoning Application Form

### General Information

1. Applicant  
Town of Damariscotta  
Agent: Jan Wiegman, PE,  
Wright-Pierce

2. Applicant's Address  
11 Bowdoin Mill Island  
Topsham, ME 04086

3. Applicant's Tel # and Email  
207.319.1520  
jan.wiegman@wright-pierce.com

4. Property Owner  
Town of Damariscotta

5. Owner's Address  
21 School Street  
Damariscotta, ME 04543

6. Owner's Tel # and Email  
mlutkus@damariscottame.com  
207-563-5168

7. Contractor  
The project has not been bid or  
awarded to a contractor yet.

8. Contractor's Address

9. Contractor's Tel # and Email

10. Location/Address of  
Property  
Municipal Parking Lot  
0 Parking Lot Lane

11. Tax Map/Lot & Date Lot  
Created  
Map 6, Lot 20

12. Zoning District  
C-1

13. Description of Property Including a Description of all Proposed Construction, (e.g. Land Clearing, Road Building, Septic System, & Wells - Please Note that a Site Sketch is Required on Page 3).  
The Damariscotta Flood Protection Improvements Project proposes improvements to the Damariscotta Municipal Parking Lot. Stormwater infrastructure and full-depth pavement reconstruction is proposed within the municipal parking lot. A floodwall is proposed along the edge of the parking lot to prevent flooding of the municipal parking lot during the 100-year flood event. The existing narrow landscaped area between the parking lot and riprap shoreline consists of grass, benches, and a few deciduous trees and is also proposed to be reconstructed. The proposed improvements to the landscaped area include plantings, a concrete seat wall, sculpture, and stacked boulder walls. Access to this area will be provided by openings in the floodwall. During times of anticipated flooding, stop log barriers will be installed in these openings to protect the parking lot. The adjacent riprap shoreline will be interplanted with vegetation for aesthetic and environmental purposes. Please see the attached project plans for more information.

14. Proposed Use of Project  
Construct a flood wall, stormwater infrastructure,  
and reconstruct existing municipal parking lot

15. Estimated Cost of Construction  
\$4.3 million

### Shoreland and Property Information

16. Lot Area (sq. ft.)  
3.17 acres  
Approx 138,085 SF

17. Frontage on Road (ft.)  
Approx. 12 feet on Main St  
Approx 41 feet on Water St

18. Sq. Ft. of Lot to be covered  
by Non-Vegetated Surfaces  
Approx. 82,000 SF

19. Elevation Above 100-year  
Flood  
10' (NAVD88)

20. Frontage on Water Body  
(ft.)  
Approx. 715 ft

21. Height of Proposed  
Structure  
N/A

22. Existing Use of Property  
Municipal parking lot

23. Proposed Use of Property  
Municipal parking lot

**Note: Question 24 Applies Only to Expansions of Portion of Existing Structures which are Less than the Required Setback**  
Site is a parking lot - no structures.

24.A Total Floor Area of Portion of Structure  
which is Less than the Required Setback as of  
1/1/1989 \_\_\_\_\_ S.F.

24.B Floor Area of Expansions of Portion of  
Structure which is Less than the Required Setback  
from 1/1/1989 to Present  
\_\_\_\_\_ S.F.

24.C Floor Area of Proposed Expansion of Portion  
of Structure which is Less than the Required  
Setback \_\_\_\_\_ S. F.

24.D Percentage (%) Increase of Floor Area of  
Actual and Proposed Expansions of Portion of  
Structure which are Less than the Required  
Setback since 1/1/1989  
\_\_\_\_\_ S.F.

(% Increase = (B+C)/A x 100)  
\_\_\_\_\_ %

## Site Plan

Please Include: Lot Lines; Area to be Cleared of Trees and Other Vegetation; the Exact Position of Proposed Structures, Including Decks, Porches and Outbuildings with Accurate Setback Distances from the Shoreline; Side and Rear Property Lines; the Location of Proposed Wells, Septic Systems and Driveways; and Areas and Amounts to be Filled or Graded. If the Proposal is for Expansion of an Existing Structure, Please Distinguish between the Existing Structure and the Proposed Expansion. **Note: For All Projects Involving Filling, Grading or other Soil Disturbance You Must Provide a Soil Erosion Control Plan Describing the Measures to be Taken to Stabilize Disturbed Areas Before, During and After Construction (see Shoreland Zoning Ordinance Guidelines).**

Scale \_\_\_\_\_ = \_\_\_\_\_ ft.

See attached project plans.

### **Front or Rear Elevation**

See attached project plans.

Note : Draw a Simple Sketch Showing Both the Existing and Proposed Structures with Dimensions. Please attach any Photos (with Labels) to back of Application

### **Side Elevation**

See attached project plans.

Note: Draw a Simple Sketch Showing Both the Existing and Proposed Structures With Dimensions. Please Attach any Photos (with Labels) to Back of Application.

## Additional Permits, Approvals and/or Reviews Required

Check if Required

Planning Board Review/Approval (e.g. Subdivision, Site Plan Review)

Board of Appeals Review/Approval

Flood Hazard Development Permit

Exterior Plumbing Permit (Approved HHE-200 Application Form)

Interior Plumbing Permit

DEP Permit (Site Location, NRPA)

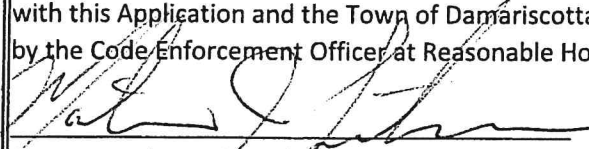
Army Corps of Engineers (Sec. 404 of Clean Water Act)

Others:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Note: Applicant is Advised to Consult with the Code Enforcement Officer and Appropriate State and Federal Agencies to Determine Whether Additional Permits, Approvals and/or Reviews are Required

I Certify That All Information Given in this Application is Accurate. All Proposed Uses Shall be in Conformance with this Application and the Town of Damariscotta Shoreland Zoning Ordinance. I Agree to Future Inspections by the Code Enforcement Officer at Reasonable Hours.

  
\_\_\_\_\_  
Applicant's Signature

3-16-2022  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Agent's Signature (if applicable)

3/16/2022  
\_\_\_\_\_  
Date





# Damariscotta Maine

## Legend

- Commercial (C)
- Limited Commercial A (LCA)
- Limited Commercial B (LCB)
- Residential (R)
- Resource Protection (RP)
- Stream Protection (SP)
- Unstable Bluffs
- Wetlands
- Forested Wetlands
- Ponds
- Tidal Waters
- Roads
- parcel
- Powerline
- Streams

0 1,000 2,000 3,000  
Feet  
1 inch = 1,000 feet

prepared by  
Roderick H. Craib, Jr.  
21 Clinton Cove Road  
Wipolite, ME 04573  
November 4, 2009  
Revised February 5, 2016  
This Revision only changes  
the colors and shading of the zones.  
The actual zones remain the same.  
September 16, 2019

# Shoreland Zoning Map

see also  
Damariscotta Zoning Map



Town of Damariscotta  
Official Shoreland  
Zoning Map  
Certified by attested signature  
of the MUNICIPAL CLERK,  
Adopted \_\_\_\_\_, 2019



Newcastle

**Approximate Project Area**

Notes:  
1. This map is a preliminary map and is not intended to be used as a final map.  
2. The map is based on the best available information and is not intended to be used as a final map.  
3. The map is based on the best available information and is not intended to be used as a final map.  
4. The map is based on the best available information and is not intended to be used as a final map.  
5. The map is based on the best available information and is not intended to be used as a final map.





# TOWN OF DAMARISCOTTA, MAINE

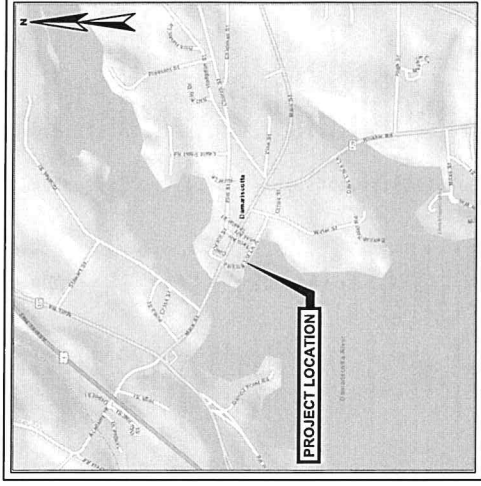
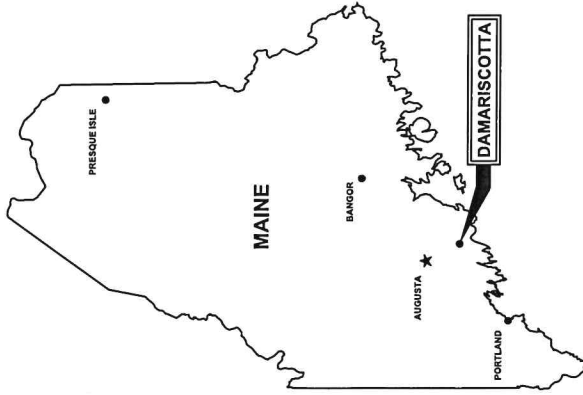
## CONTRACT DRAWINGS FOR

# DOWNTOWN FLOOD PROTECTION IMPROVEMENTS

MARCH 2022  
FOR PERMITTING

### DRAWING INDEX

<u>GENERAL</u>	
—	COVER
<u>CIVIL</u>	
C-1	GENERAL NOTES, LEGEND & ABBREVIATIONS
C-2	EXISTING CONDITIONS & DEMOLITION PLAN
C-3	PROPOSED SITE LAYOUT PLAN
C-4	PROPOSED GRADING & DRAINAGE PLAN
C-5	PROPOSED SITE UTILITY PLAN
C-6	FLOOD WALL PROFILE
C-7	DETAILS I
C-8	DETAILS II
C-9	DETAILS III
C-10	EROSION CONTROL NOTES & DETAILS
<u>LANDSCAPE</u>	
LA-1	PARK & LIVING SHORELINE - EXISTING CONDITIONS AND REMOVALS PLAN
LA-2	PARK & LIVING SHORELINE - MATERIALS AND DIMENSIONAL LAYOUT PLAN
LA-3	PARK & LIVING SHORELINE - LANDSCAPE AND GRADING PLANS
LA-4	PARK & LIVING SHORELINE - SEDIMENT AND EROSION CONTROL
LA-5	PARK & LIVING SHORELINE DETAILS
LA-6	PARK & LIVING SHORELINE DETAILS
LA-7	PARK & LIVING SHORELINE DETAILS
LA-8	SITE PLAN - SECTIONS
<u>STRUCTURAL</u>	
S-100	STRUCTURAL PLAN AND ELEVATION
S-101	STRUCTURAL PLAN AND ELEVATION
S-102	STRUCTURAL PLAN AND ELEVATION
S-103	STRUCTURAL NOTES & DETAILS



LOCATION PLAN  
SCALE: 1/8\"/>



**WRIGHT-PIERCE**  
Engineering a Better Environment

(207) 725-8721 | www.wright-pierce.com

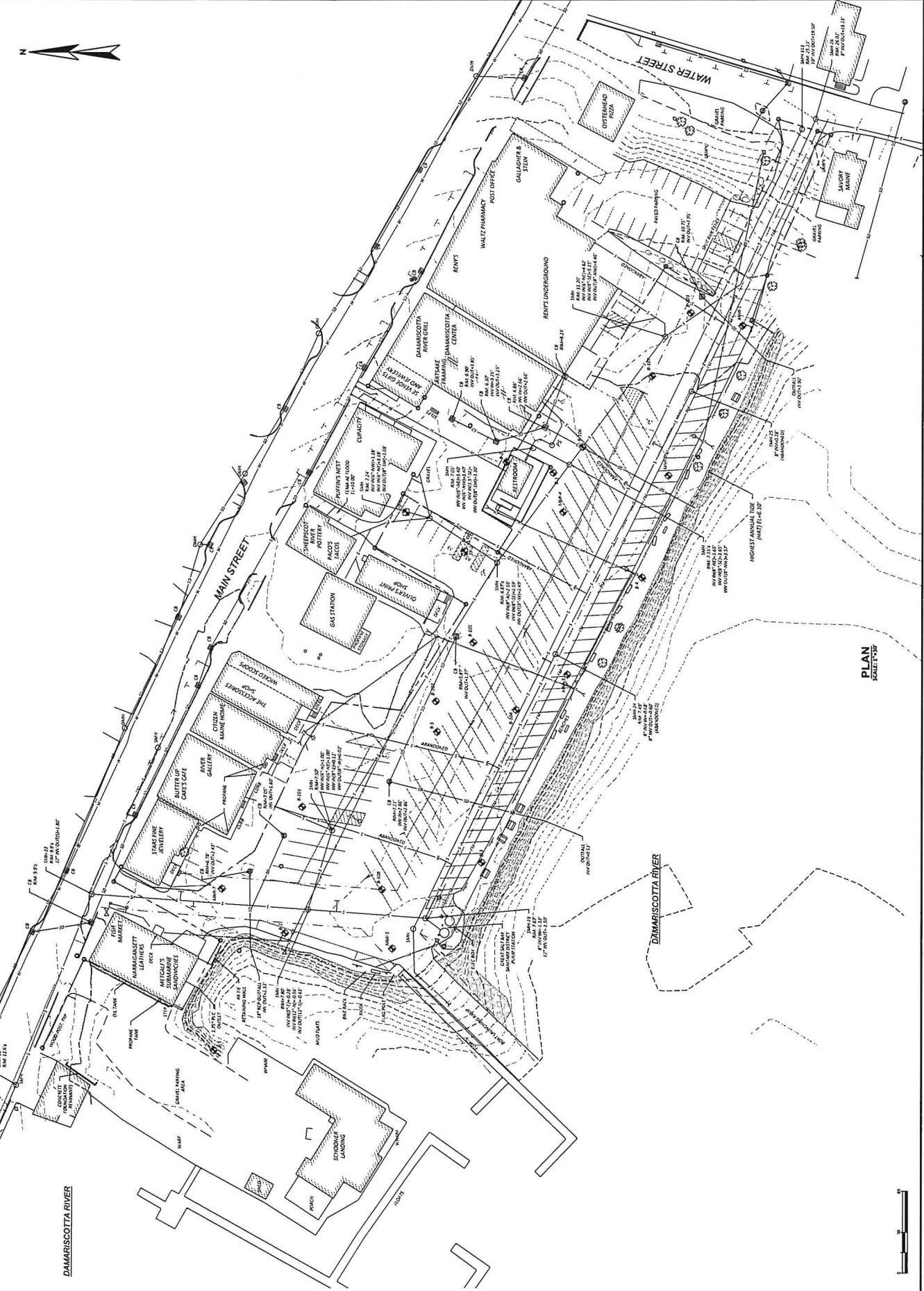






PROJECT NO. 20193	DESIGNED: KAREN HAN
DATE: 3/2022	CHECKED: LARRY HAN
APPROVED: LARRY HAN	DATE: 3/2022
SUBMISSION FOR PERMITTING	

NO	REVISIONS	APP'D	DATE



PLAN  
SCALE: 1"=30'



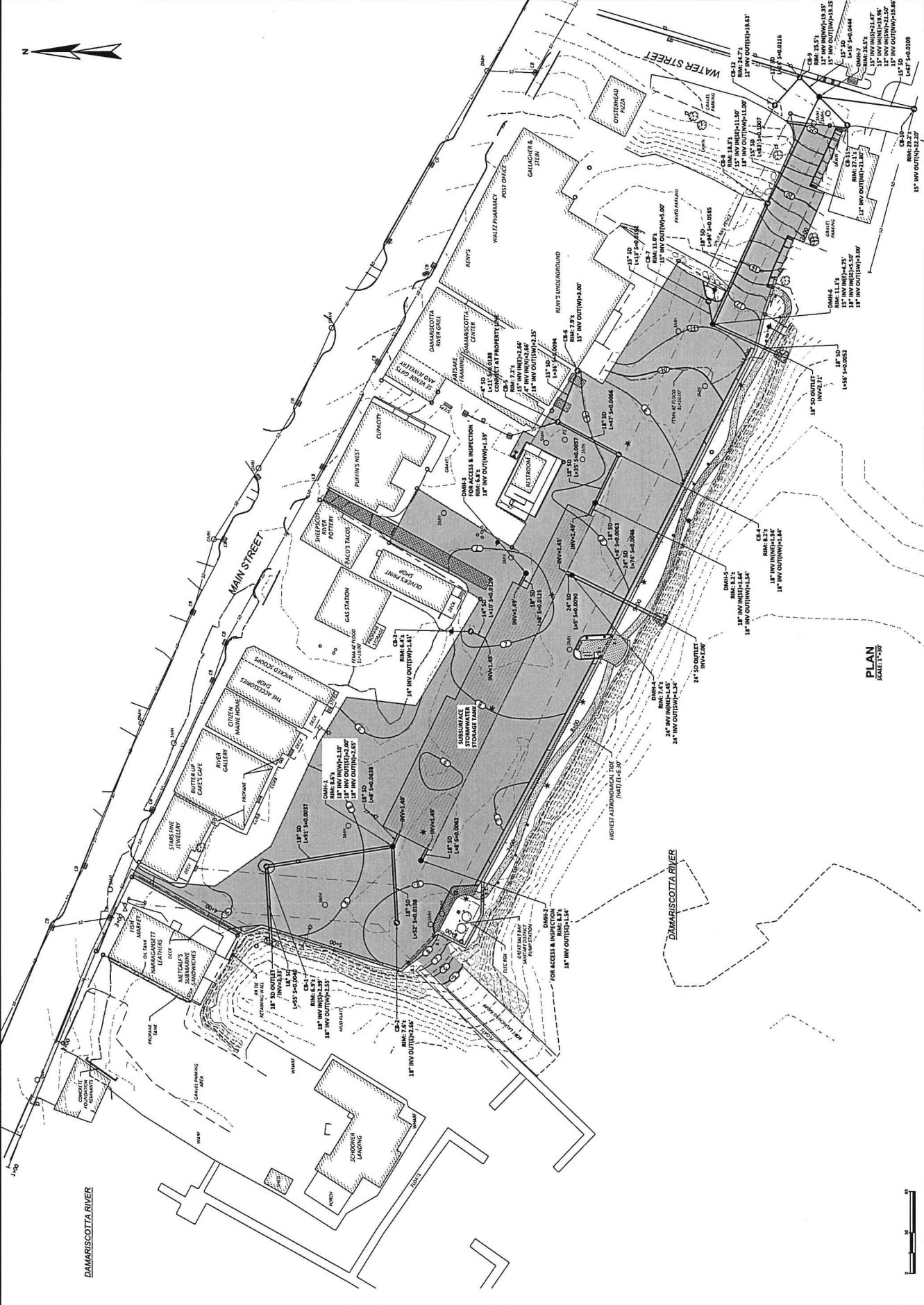






NO	REVISIONS	DATE

NO	REVISIONS	DATE



PLAN  
SCALE: 1"=30'



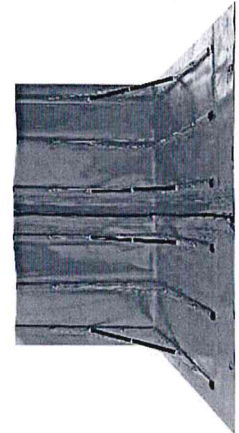
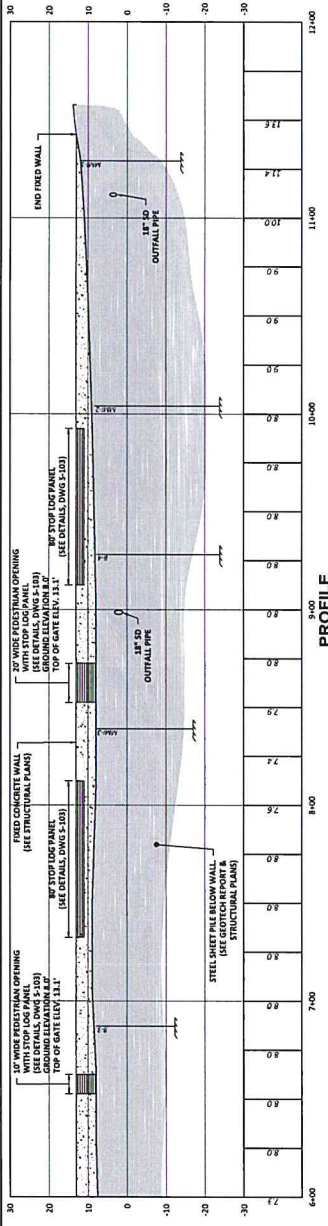
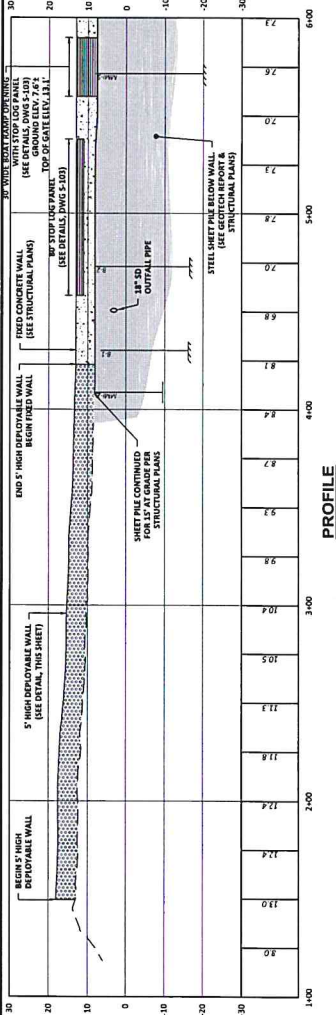




PROJECT NO. 20649	DATE: 3-2021
DESIGNER: K. BISHAM	DATE: 3-2021
CHECKED: J. WEGEMAN	DATE: 3-2021
APPROVED: J. WEGEMAN	DATE: 3-2021
DESIGNED FOR PERMITTING	

NO	REVISIONS	APPD	DATE

**NOTE:**  
1. FOR ADDITIONAL DETAILS & DESIGN PERTAINING TO THE CONSTRUCTION OF THE WALL & SHEET PILE, REFER TO THE STRUCTURAL PLANS.



5' HIGH DEPLOYABLE WALL  
SCALE: NTS















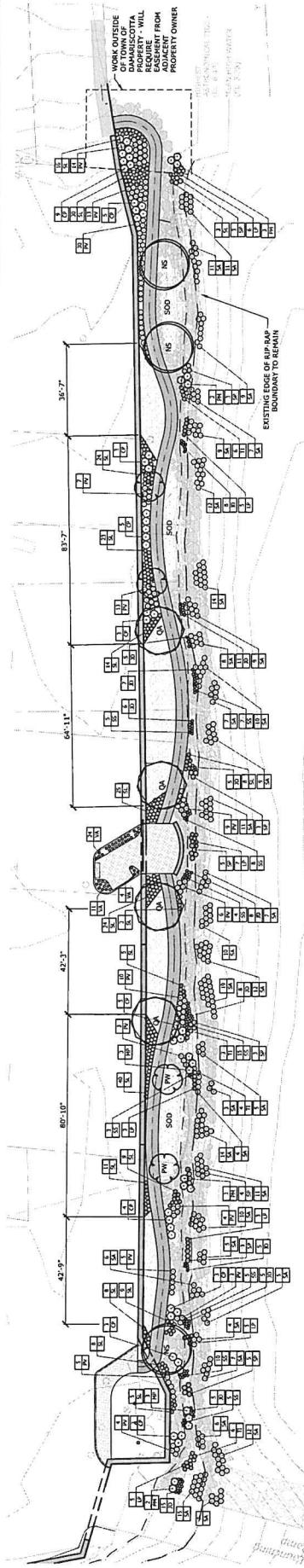
NO	REV	DATE	DESCRIPTION
1			
2			
3			
4			
5			

PROJECT NO: 1  
 DISIGNED: [Signature]  
 CAD: [Signature]  
 DATE: [Signature]  
 APPROVED: [Signature]  
 DATE: [Signature]

115 CHURCH STREET, 11th FLOOR  
 BOSTON, MA 02114  
 WWW.WRIGHT-PIERCE.COM

TOWN OF DAMARISCOTTA  
 STORMWATER IMPROVEMENTS  
 DARMARISCOTTA, MAINE  
 (207) 725-8223 | www.wright-pierce.com

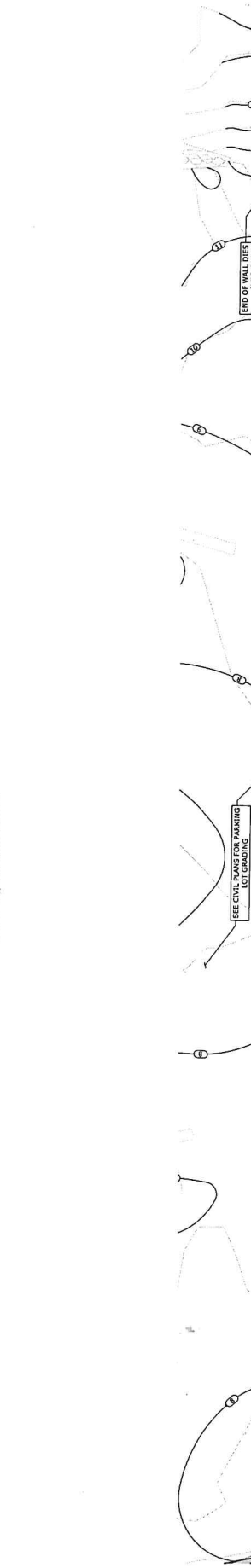
DRAWING: E-171  
 SCALE: 1" = 10'-0"  
 TITLE: LANDSCAPE PLAN



### PLANT SCHEDULE

TREES	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	CODE
Q*	4	White Oak	Quercus alba	1" Cal.	Q1
W*	4	Wax Black Cherry	Prunus serotina	1" Cal.	W1
MA	126	Little Bluestem	Lolium perenne	...	MA1
SL	265	Shrubbery	Schizanthus lycopodium	...	SL1
PM	11	Boxwood	Buxus sempervirens	...	PM1
SS	62	Sea Lavender	Salvia nemorosa	...	SS1
LP	34	Sea Lavender	Linum catharticum	...	LP1
VA	39	Sea Lavender	Vaccinium angustifolium	...	VA1
SA	289	Sea Purslane	Portulaca oleraceae	...	SA1

- ### PLANTING NOTES
1. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE LOCATION OF ALL UNDERGROUNDS.
  2. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A 4" MINIMUM DEPTH OF TOPSOIL FOR ALL PLANTING AREAS.
  3. ALL PLANTING MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO AND AFTER PLANTING.
  4. ALL PLANT MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO AND AFTER PLANTING.
  5. ALL PLANT MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO AND AFTER PLANTING.
  6. ALL PLANT MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO AND AFTER PLANTING.
  7. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. MAINTENANCE SHALL INCLUDE WATERING, MULCHING, AND ALL OTHER CARE NEEDED FOR PROPER PLANT GROWTH AND SURVIVAL.
  8. WHERE A SIZE RANGE IS SPECIFIED AT LEAST ONE PLANT IN EACH RANGE SHALL BE OF THE LARGEST SIZE.
  9. CONTRACTOR TO REMOVE THE STAKES AFTER ONE GROWING SEASON.
  10. PLACEMENT OF PLANTS ARE SUBJECT TO FINAL VERIFICATION IN THE FIELD BY THE DIRECTING LANDSCAPE ARCHITECT. QUANTITIES SHALL NOT BE REDUCED. ANY ADJUSTMENTS REQUIRE TOWN APPROVAL.
  11. ALL TREES SHALL BE SOURCED AND PROPAGATED BY NEW ENGLAND OR MID-ATLANTIC NURSERIES.
  12. ALL SEED MIXTURE SHALL BE CERTIFIED BY THE GROWER TO NOT BE PRODUCED THROUGH GENETIC ENGINEERING.
  13. ALL SOIL SHALL BE SORBED FROM AN ORGANIC MANURE NURSERY.



TOWN OF DAMARISCOTTA  
 STORMWATER IMPROVEMENTS  
 DARMARISCOTTA, MAINE  
 (207) 725-8223 | www.wright-pierce.com

DRAWING: E-171  
 SCALE: 1" = 10'-0"  
 TITLE: GRADING PLAN



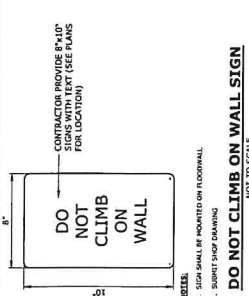


NO.	REV.	DATE	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

PROJECT NO.	DISIGNED BY	CHECKED BY	DATE
DATE	APPROVED	DATE	
DATE	DATE		
DATE			
DATE			
DATE			
DATE			
DATE			
DATE			
DATE			

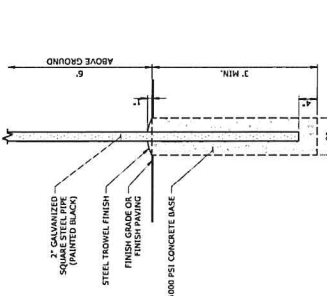
SLR  
 1100 STATE STREET, SUITE 200  
 BOSTON, MA 02111  
 WWW.WRIGHT-PIERCE.COM  
 (207) 725-8221

WRIGHT-PIERCE  
 (207) 725-8221 | WWW.WRIGHT-PIERCE.COM



**NOT TO SCALE**

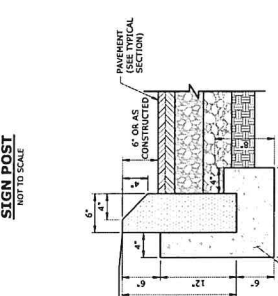
**DO NOT CLIMB ON WALL SIGN**



**NOT TO SCALE**

**SIGN POST**

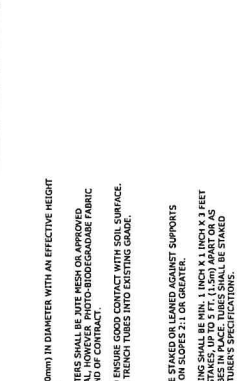
- NOTES:**
1. SIGN SHALL BE MOUNTED ON FLOORWALL.
  2. SIGN SHALL BE MOUNTED ON FLOORWALL.



**NOT TO SCALE**

**MOUNTABLE GRANITE CURB**

- NOTES:**
1. VERTICAL FACE UNDISTURBED. ALL LAYERS OF ALL CURBS AND BEDS SHALL BE AS PROVIDED.
  2. HORIZONTAL SURFACE OF CURB SHALL BE AS PROVIDED.



**NOT TO SCALE**

**COMPOST FILTER TUBE DETAIL**

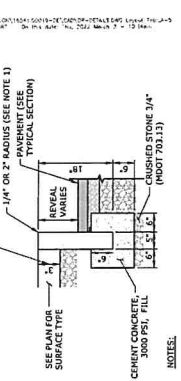
- GENERAL NOTES:**
1. PROVIDE A MINIMUM TUBE DIAMETER OF 12 INCHES (305mm) FOR SLOPES UP TO 50 FEET (15.24m) IN LENGTH WITH A SLOPE RATIO OF 3:1 OR GREATER.
  2. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR SITUATIONS WITH LONGER OR STEEPER SLOPES.
  3. TUBE LOCATION MAY BE SHIFTED TO ADJUST TO UNDISTURBED AREA AND VEGETATION TO MAXIMUM EXTENT POSSIBLE.
  4. PERMANENT, EPHEMERAL, OR INTERMITTENT STREAMS.
  5. ADDITIONAL STAKING SHALL BE USED AT THE DIRECTION OF THE ENGINEER.
  6. ADDITIONAL STAKING SHALL BE USED AT THE DIRECTION OF THE ENGINEER.



**NOT TO SCALE**

**OYSTER SHELL PAVING**

- NOTES:**
1. OYSTER SHELL PAVING SHALL BE AS SHOWN.
  2. ALUMINUM LANDSCAPE EDGING SHALL BE 3000 SERIES, RIGID APPROVED EQUIVALENT.



**NOT TO SCALE**

**VERTICAL GRANITE CURB**

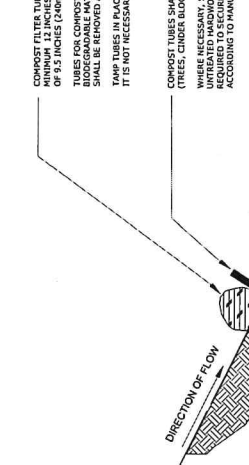
- NOTES:**
1. ALL RADIUS CURBING LESS THAN 15" RADIUS SHALL BE GROUNDED TO ACHIEVE 2" RADIUS ON STREET SIDE OF CURB, AND FEATHERED INTO ADJACENT STRAIGHT CURBING.
  2. AT ALL JOINTS PROVIDE 4" x 8" x 1/2" UNDERDRAIN FILTER FABRIC SET 1/2" BELOW TOP OF CURB SPANNING THE JOINT.



**NOT TO SCALE**

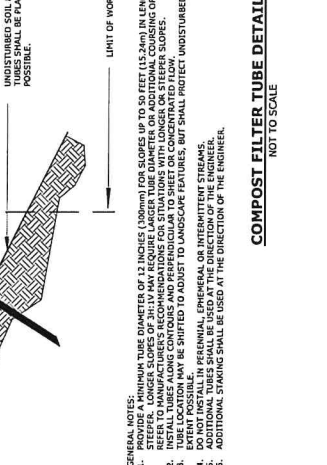
**STABILIZED DECOMPOSED GRANITE**

- NOTES:**
1. AS MANUFACTURED BY FREED CUSTOM SOILS (CONTACT MARK PRODUCT # 617-686-5500)
  2. LANDSCAPE ARCHITECT



**NOT TO SCALE**

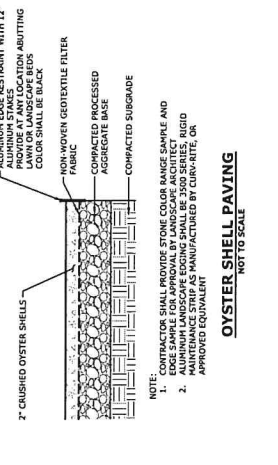
**SEDIMENT FILTER FENCE AND HAY BALE**



**NOT TO SCALE**

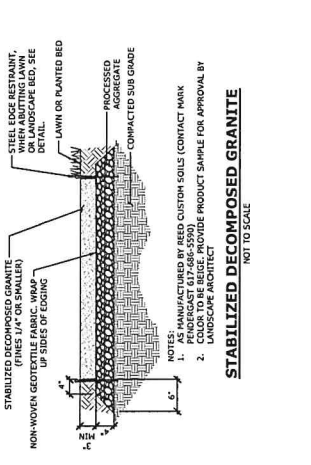
**CONSTRUCTION ENTRANCE PAD**

- NOTES:**
1. CONSTRUCTION ENTRANCE PAD SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION TO PREVENT VERTICAL TRACKING OF SOIL.



**NOT TO SCALE**

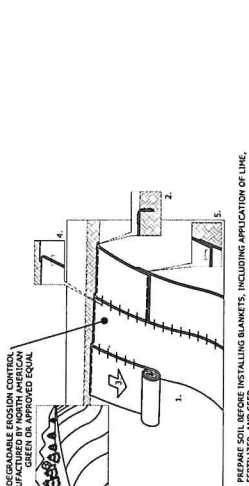
**EROSION CONTROL MAT**



**NOT TO SCALE**

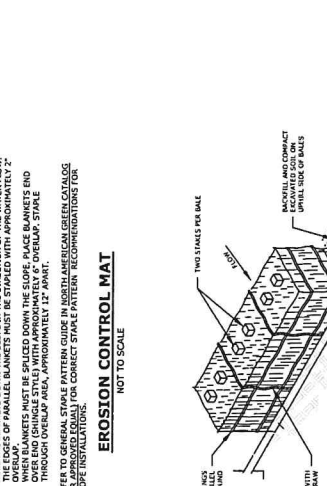
**CONSTRUCTION ENTRANCE PAD**

- NOTES:**
1. CONSTRUCTION ENTRANCE PAD SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION TO PREVENT VERTICAL TRACKING OF SOIL.



**NOT TO SCALE**

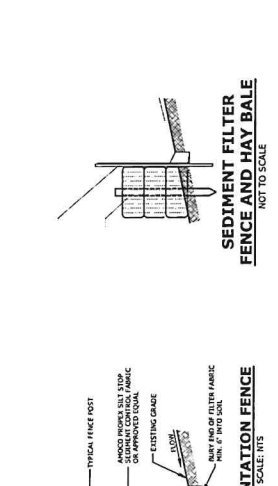
**SEDIMENT FILTER FENCE AND HAY BALE**



**NOT TO SCALE**

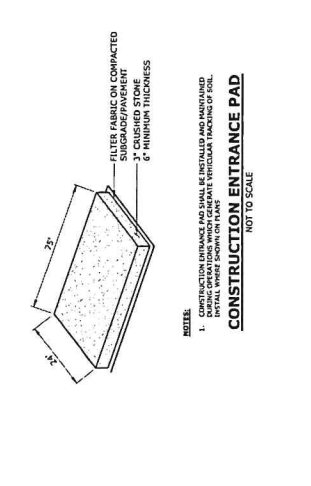
**CONSTRUCTION ENTRANCE PAD**

- NOTES:**
1. CONSTRUCTION ENTRANCE PAD SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION TO PREVENT VERTICAL TRACKING OF SOIL.



**NOT TO SCALE**

**EROSION CONTROL MAT**



**NOT TO SCALE**

**CONSTRUCTION ENTRANCE PAD**

- NOTES:**
1. CONSTRUCTION ENTRANCE PAD SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION TO PREVENT VERTICAL TRACKING OF SOIL.

NO	REVISIONS	APPD	DATE

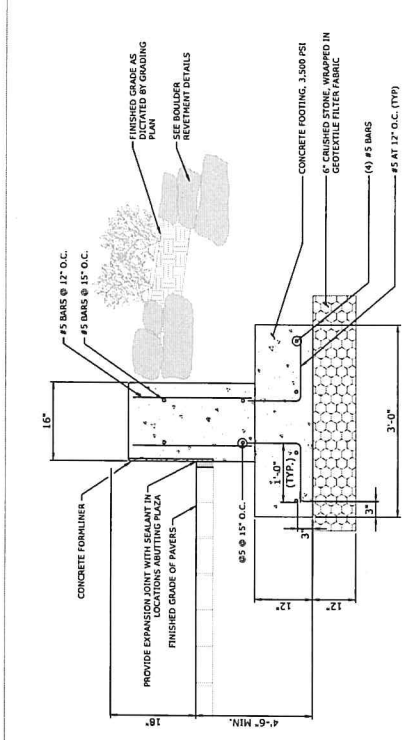
PROJECT NO.	78
DATE	11/11/2021
DESIGNED BY	SLR
CHECKED BY	SLR
APPROVED BY	SLR
DATE	11/11/2021
PROJECT NO.	78



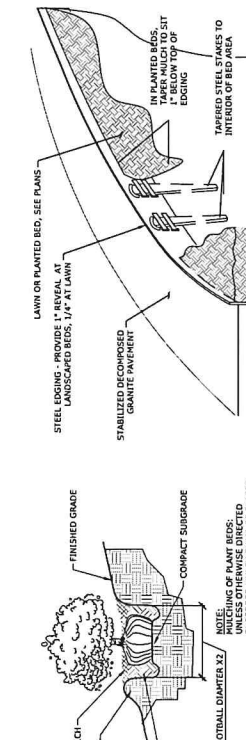
193 COUNSEL TRAIL, 7TH FLOOR  
 BANGOR, ME 04401  
 WWW.WRIGHT-PIERCE.COM

WRIGHT-PIERCE  
 (207) 725-8721 | www.wright-pierce.com

TOWN OF DAMARISCOTTA  
 STORMWATER IMPROVEMENTS  
 DAMARISCOTTA, MAINE  
 PARK & LIVING SHOULDER DETAILS  
 DRAWING LA-6



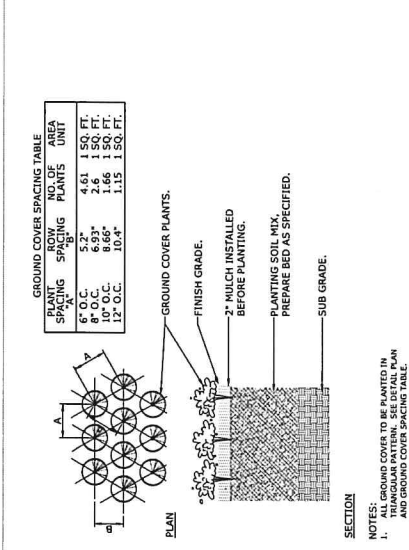
**CAST-IN-PLACE CONCRETE SEATWALL**  
 SCALE: 1"=1'-0"



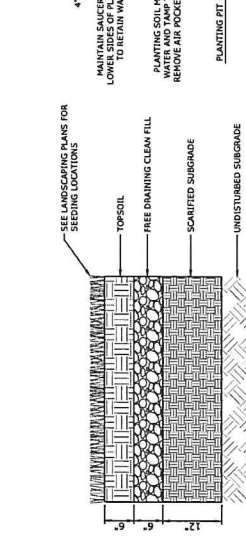
**SHRUB PLANTING**  
 SCALE: NTS



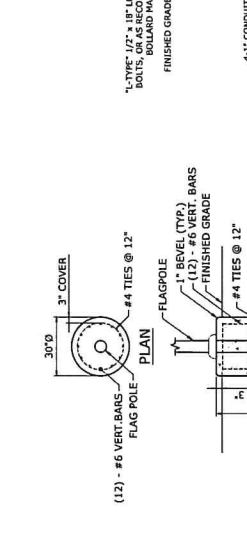
**STEEL LANDSCAPE EDGING**  
 NOT TO SCALE



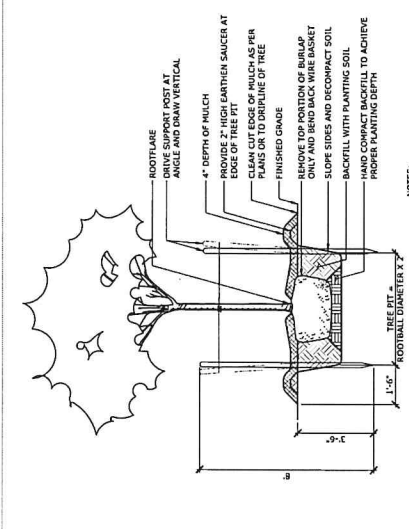
**GROUND COVER/PERENNIAL PLANTING**  
 SCALE: NTS



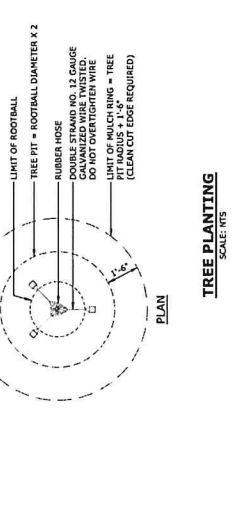
**LAWN DETAIL**  
 SCALE: NTS



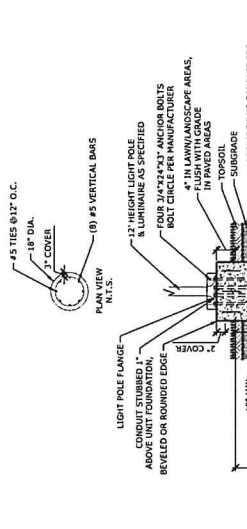
**FLAG POLE FOUNDATION DETAIL**  
 SCALE: NTS



**TREE PLANTING**  
 SCALE: NTS



**LIGHT POLE FOUNDATION DETAIL IN LAWN/LANDSCAPING**  
 NOT TO SCALE



**TYPICAL BOLLARD LIGHT FOUNDATION DETAIL**  
 NOT TO SCALE

**GROUND COVER SPACING TABLE**

SPACING	ROW SPACING	NO. OF PLANTS	AREA UNIT
6" O.C.	5.2'	4.61	1.50 FT. <sup>2</sup>
8" O.C.	3.9'	6.25	1.50 FT. <sup>2</sup>
10" O.C.	3.0'	8.66	1.50 FT. <sup>2</sup>
12" O.C.	2.4'	11.5	1.50 FT. <sup>2</sup>

**NOTES:**

- CONCRETE SEATWALL TO BE PLANTED IN TRIANGULAR PATTERN. SEE DETAIL PLAN AND GROUND COVER SPACING TABLE.

**NOTES:**

- SUPPORT POSTS SHALL BE REMOVED BY CONTRACTOR ON OR ONE YEAR AFTER INSTALLATION.
- CONTRACTOR TO PROVIDE 1.57 HOUR COMPACTED SAND CONDUIT TO INSURE PLANT FIT DRAINS 1.57 HOUR.
- DO NOT COVER TREE TRUNK WITH MULCH.

**NOTES:**

- CONTRACTOR TO PROVIDE SHOP DRAWING FOR CONCRETE BASE AND BOLLARD PATTERN.
- BOLLARD PATTERN TO BE COORDINATED WITH BOLLARD LIGHT MANUFACTURER.
- PROVIDE CONDUIT WITH CONDUCTORS.

**NOTES:**

- CONTRACTOR TO PROVIDE SHOP DRAWING FOR CONCRETE BASE AND BOLL PATTERN.
- REFER TO ELECTRICAL DRAWINGS FOR SPECIFIED FEATURE.
- PROVIDE CONDUIT WITH CONDUCTORS.

**NOTES:**

- LIGHT POLES AND FIXTURES SHALL BE AS SHOWN IN ELECTRICAL DRAWINGS.
- PROVIDE SHOP DRAWINGS FOR APPROVAL.

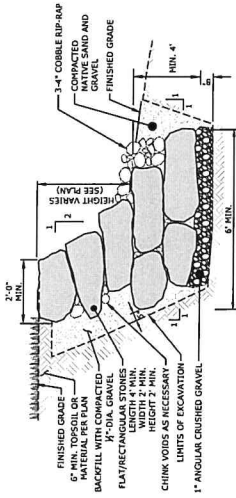
NO.	REVISIONS	APPD.	DATE
1			
2			
3			
4			
5			

PROJECT NO.	1
DRAWING	LA-7
DATE	
APPROVED	
DATE	
CHECKED	
DESIGNED BY	
REVISIONS	



**SLR**  
 19 CHURCH STREET, 17TH FLOOR  
 NEW HAVEN, CT 06511  
 WWW.WRIGHT-PIERCE.COM  
 (207) 725-8121

**WRIGHT-PIERCE**  
 TOWN OF DAMARISCOTTA  
 STORMWATER IMPROVEMENTS  
 DAMARISCOTTA, MAINE



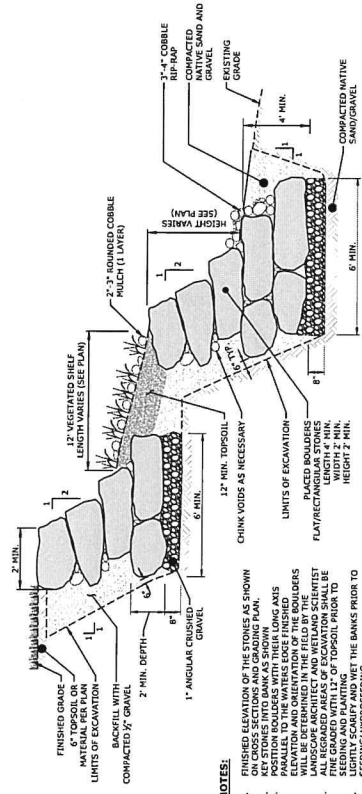
**BOULDER RETEVMENT DETAIL A**  
 NOT TO SCALE

SECTION VIEW

- NOTES:**
1. FINISHED ELEVATION OF THE STONES AS SHOWN ON THE PLAN SHALL BE MAINTAINED.
  2. KEY STONES INTO BANK AS SHOWN ON PLAN. PARALLEL TO THE WATER SIDE FINISHED ELEVATION AND ORIENTATION OF THE BOULDERS TO BE DETERMINED BY THE LANDSCAPE ARCHITECT AND WETLAND SCIENTIST.
  3. SEEDING AND PLANTING SHALL BE COMPLETED PRIOR TO THE BANKS PRIOR TO SEEDING/HYDROSEEDING.

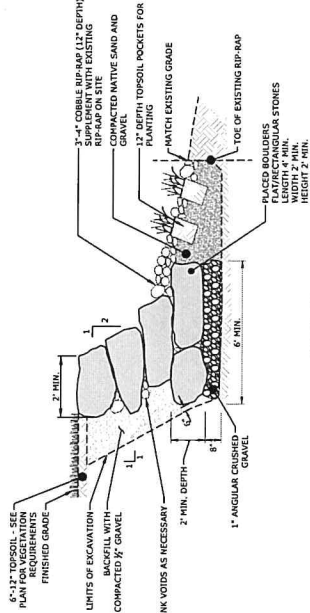
SECTION VIEW

**BOULDER RETEVMENT DETAIL B**  
 NOT TO SCALE



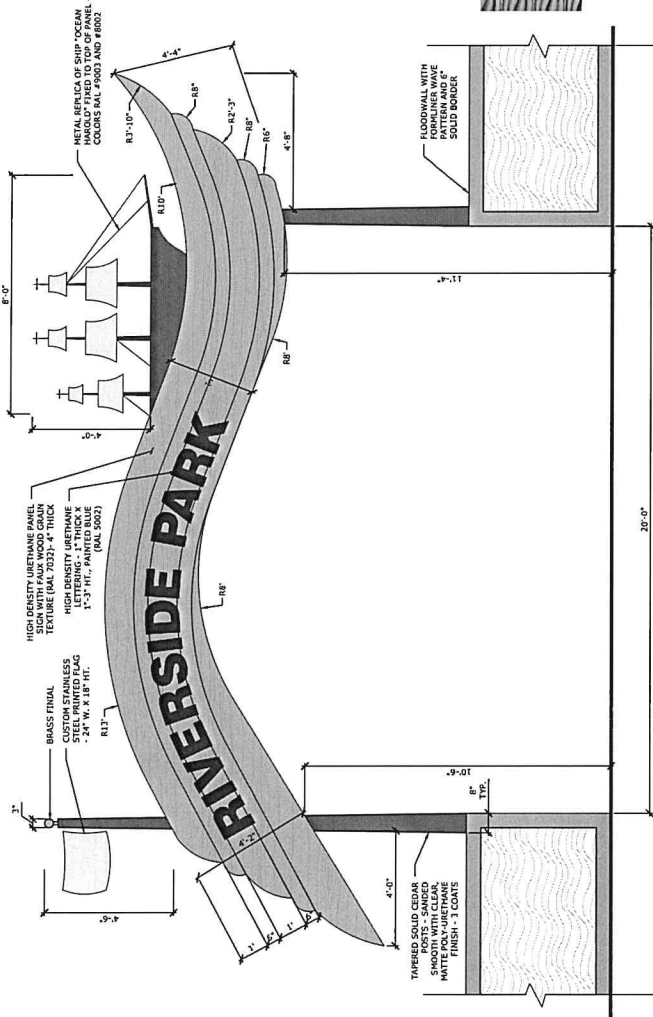
SECTION VIEW

**BOULDER RETEVMENT DETAIL C**  
 NOT TO SCALE

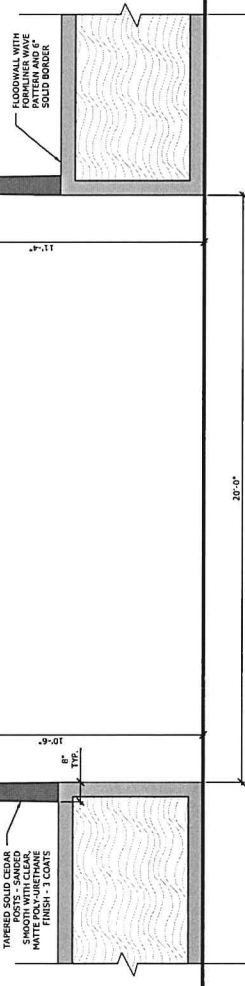


SECTION VIEW

**BOULDER RETEVMENT DETAIL C**  
 NOT TO SCALE



**PARK ENTRANCE SIGN**  
 NOT TO SCALE



TAPERED SOLID CEDAR POSTS - SANDED SMOKE POLY-URETHANE FINISH - 3 COATS

FLOODWALL WITH SIMULATED WAVE PATTERN AND 6" SOLID BOULDER

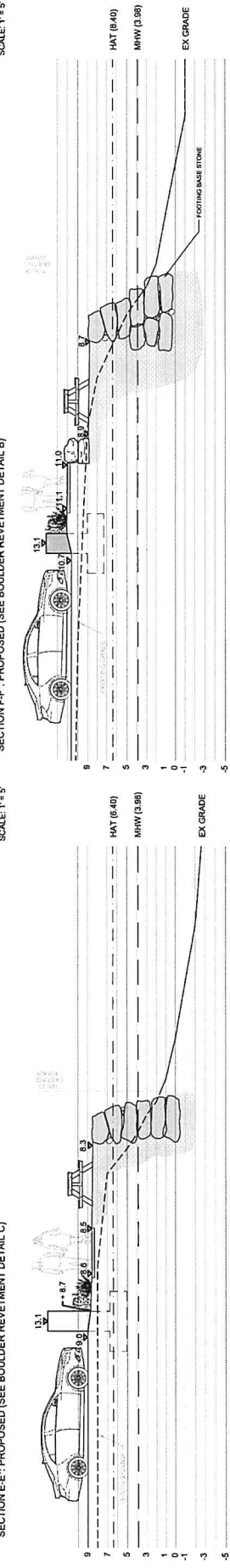
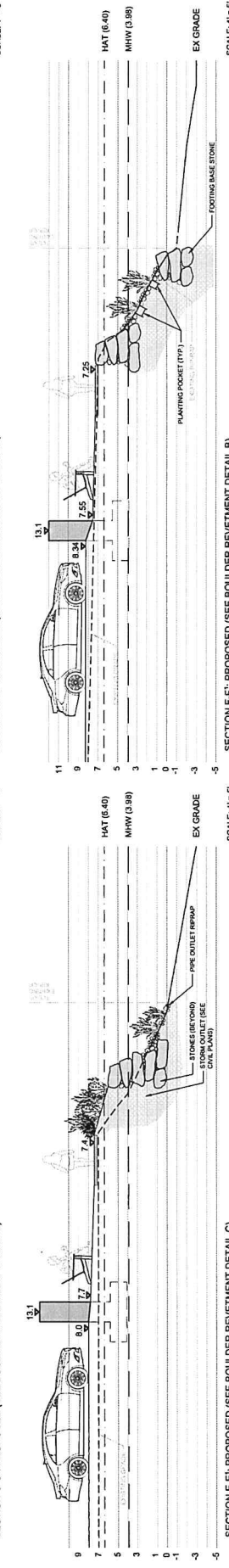
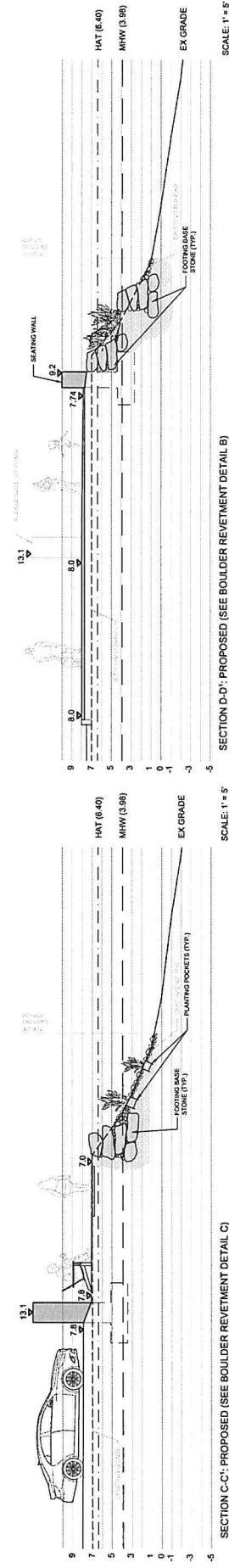
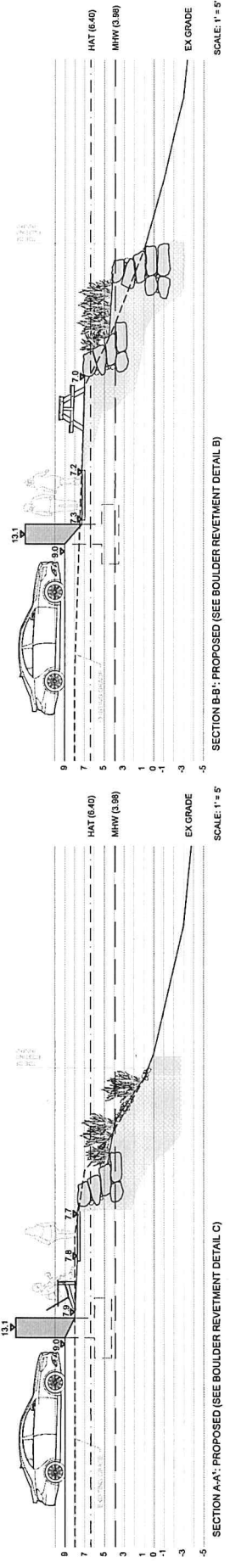
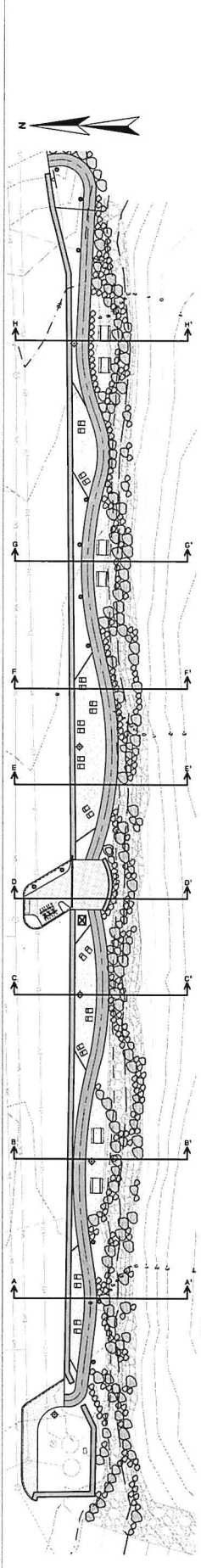
NO	REV	DATE	DESCRIPTION
1			
2			
3			
4			
5			

PROJECT NO. 20419  
 SHEETS: 10  
 CHECKED: JAV  
 DATE: 10-24-21  
 APPROVED: JAV  
 DATE: 10-24-21  
 1000 STATE ST. SUITE 200  
 WILMINGTON, DE 19801  
 WWW.WRIGHT-PIERCE.COM



WRIGHT-PIERCE  
 (207) 725-8721 | www.wright-pierce.com

TOWN OF DAMARISCOTTA  
 STORMWATER IMPROVEMENTS  
 DAMARISCOTTA, MAINE  
 SITE PLAN - SECTIONS  
 DRAWING LA-8





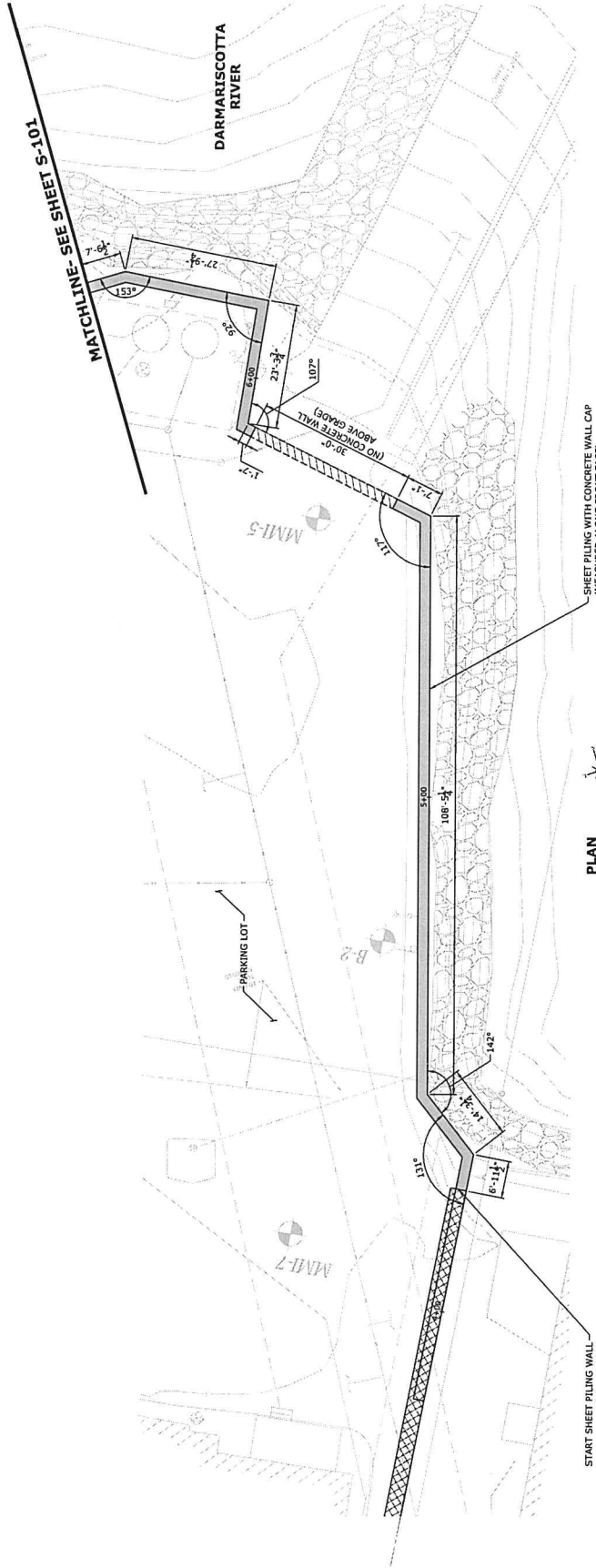
### TOWN OF DAMARISCOTTA STORMWATER IMPROVEMENTS DAMARISCOTTA, MAINE

**WRIGHT-PIERCE**  
(207) 725-8721 | www.wright-pierce.com  
www.wright-pierce.com



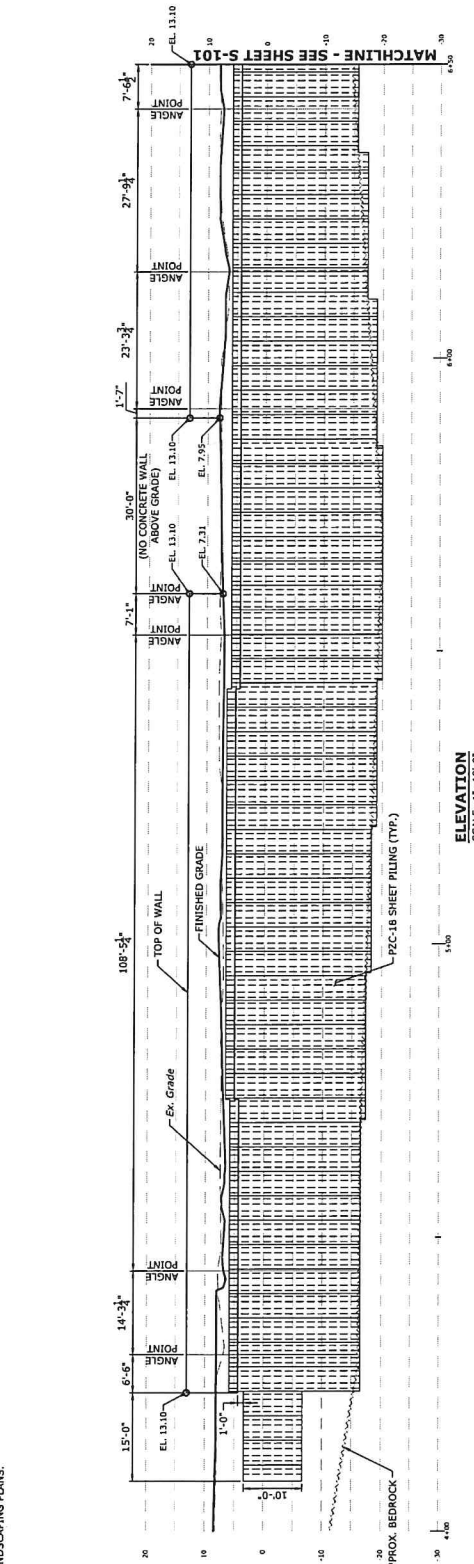
PROJECT NO. C100  
DISC'D:  
CADD:  
CHK'D:  
DATE:  
APPROVED:  
DATE:  
SUBMISSION:

NO.	REVISIONS	APP'D.	DATE



**PLAN**  
SCALE: 1" = 10'-0"

**NOTE**  
LANDSCAPING FEATURES NOT SHOWN  
FOR CLARITY, SEE LANDSCAPING PLANS.

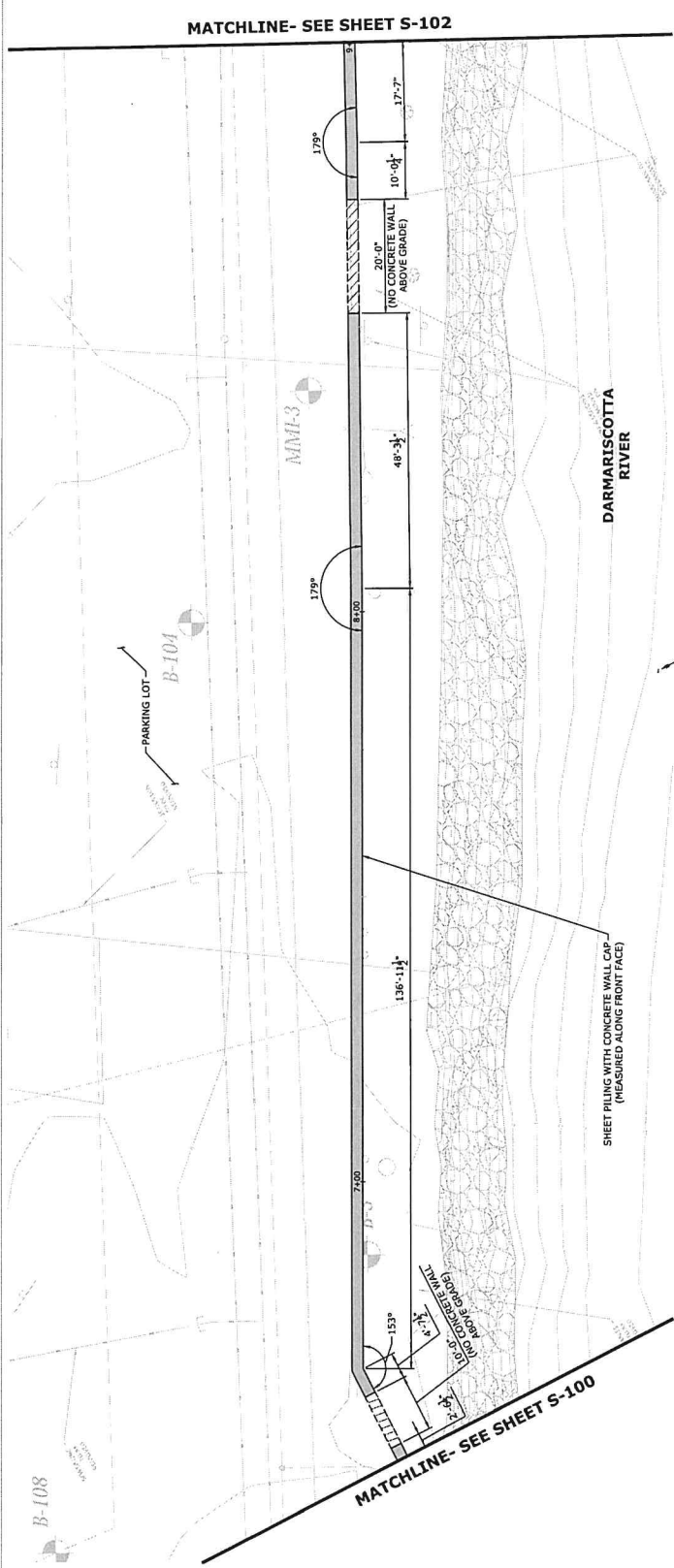


**ELEVATION**  
SCALE: 1" = 10'-0"

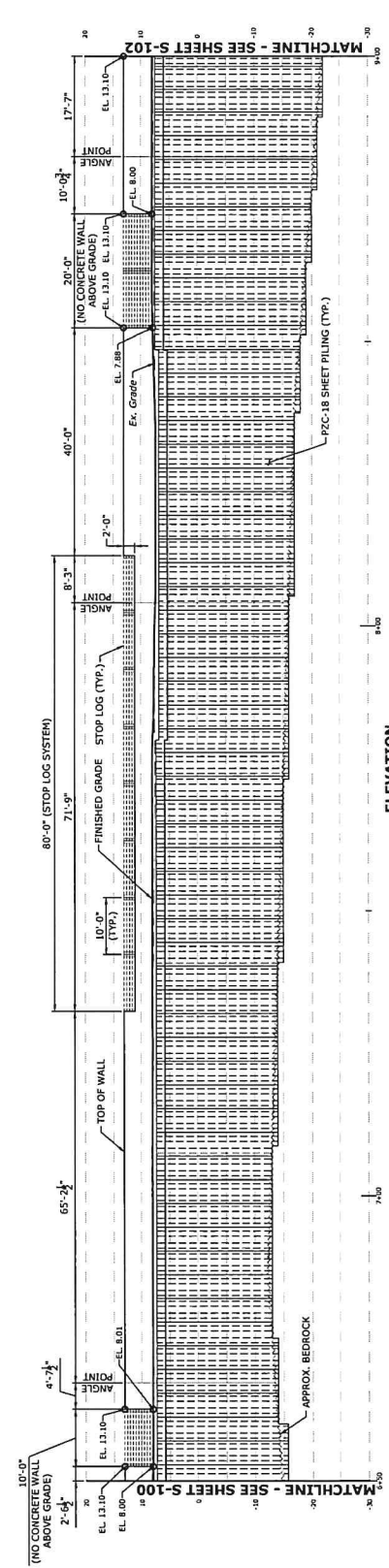


PROJECT NO.:	CASO
DESIGNER:	
DATE:	
APPROVED:	
DATE:	
CHECKED:	
DATE:	
REVISIONS:	
NO.	
APPD.	
DATE	

NO.		
APPD.		
DATE		



PLAN  
SCALE: 1"=10'-0"



ELEVATION  
SCALE: 1"=10'-0"

TOWN OF DAMARISCOTTA  
STORMWATER IMPROVEMENTS  
DAMARISCOTTA, MAINE

STRUCTURAL PLAN AND ELEVATION

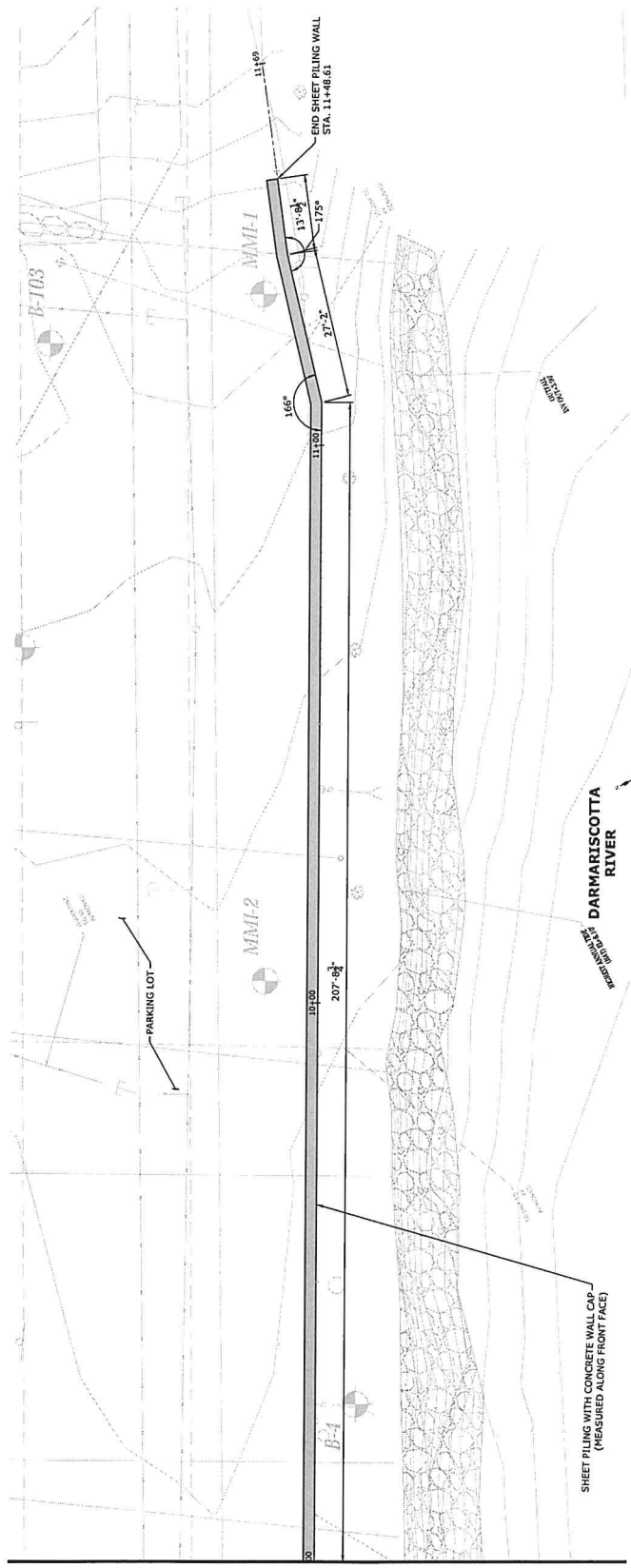
WRIGHT-PIERCE  
www.wright-pierce.com

(207) 725-8221 | www.wright-pierce.com

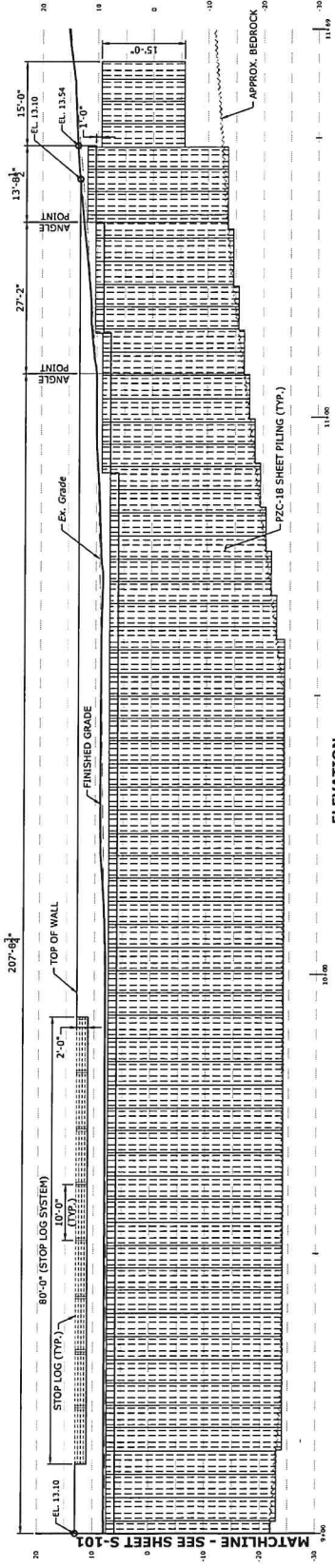


DESIGNER:	PROJECT NO.:	C1308
CHECKED:	DATE:	
APPROVED:	DATE:	
SUBMITTED:	DATE:	

NO.	REVISIONS	APP'D	DATE



PLAN  
SCALE: 1"=10'-0"



ELEVATION  
SCALE: 1"=10'-0"

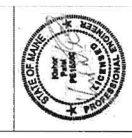
MATCHLINE - SEE SHEET S-101

MATCHLINE - SEE SHEET S-101



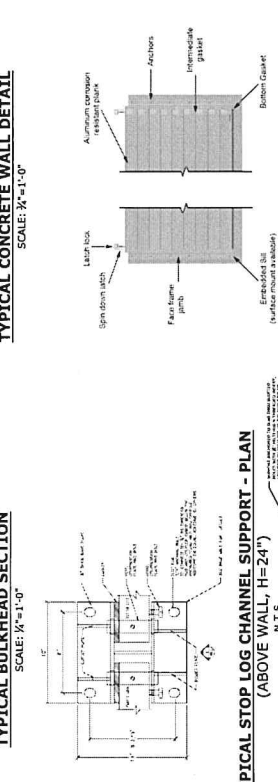
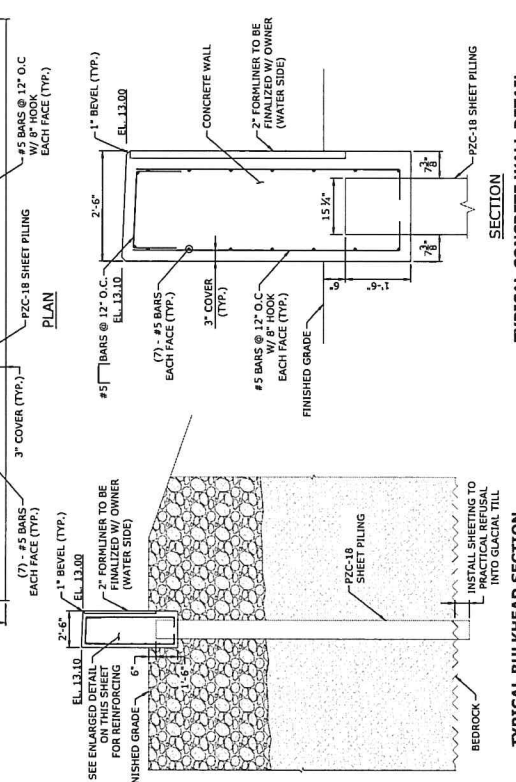
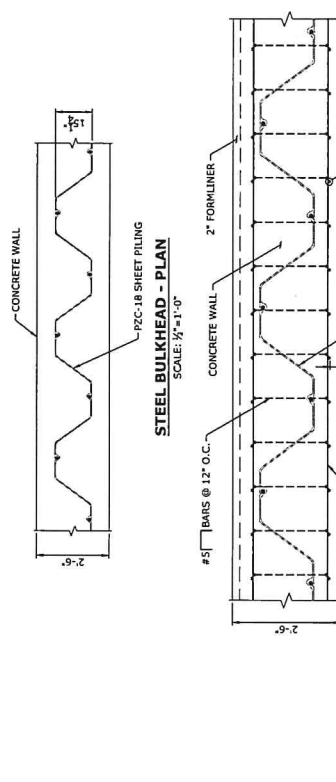
NO	REVISIONS	APPROVED	DATE

PROJECT NO.	DATE	DESIGNER	CHECKED	APPROVED	DATE



WRIGHT-PERCE  
 (207) 725-8721 | www.wright-pierce.com  
 www.wright-pierce.com

TOWN OF DAMARISCOTTA  
 STORMWATER IMPROVEMENTS  
 DAMARISCOTTA, MAINE  
 STRUCTURAL NOTES & DETAILS  
 DRAWING S-103



6. FILE DRIVING HAMMERS: HAMMERS SHALL BE STRAIN, AIR, OR DIESEL DRIVEN, SINGLE STROKE, SUITABLE FOR THE TOTAL WEIGHT OF THE PILE AND THE CHARACTER OF SUBSURFACE MATERIAL TO BE ENCOUNTERED. IF UNABLE TO REACH PILE TIP ELEVATIONS, NOTIFY THE ENGINEER BEFORE PROCEEDING WITH PILE OPERATIONS.

6.1. SHEET PILING SHALL BE DRIVEN WITH THE PROPER SIZE HAMMER AND BY APPROVED METHODS SO AS NOT TO SUBJECT THE PILING TO DAMAGE AND TO MAINTAIN THE PILING IN PROPER ALIGNMENT DURING DRIVING OPERATIONS. PROTECTIVE CAP SHALL BE EMPLOYED IN DRIVING WHEN USING IMPACT HAMMERS TO PREVENT DAMAGE TO THE TOPS OF PILING.

6.2. PILING DAMAGED DURING DRIVING OR DRIVEN OUT OF INTERLOCK SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO OWNER. PILING SHALL BE DRIVEN WITHOUT THE AID OF A WATER JET.

7. SHEET PILING SHALL BE PROVIDED AS ONE PIECE. NO SPLICES WILL BE ALLOWED.

8. SHEET PILING SHALL BE CAREFULLY LOCATED AS SHOWN ON THE DRAWINGS. TEMPORARY WALES, TEMPLATES, OR GUIDE STRUCTURES SHALL BE PROVIDED TO ENSURE THAT THE PILING IS PLACED AND DRIVEN TO THE CORRECT ALIGNMENT.

9. WHERE DRIVEN SHEET PILING HAVE EXCEEDED SPECIFIED TOLERANCES, THE CONTRACTOR SHALL REMOVE SUCH PILING AND DRIVE SUBSTITUTE PILING AT NO ADDITIONAL COST TO OWNER. DETAILS OF SUBSTITUTE PILING SHALL BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO INSTALLATION.

10. ALL SHEET PILING SHALL BE ADVANCED TO THE MINIMUM TIP PENETRATION INDICATED IN CONTRACT DRAWINGS. ANY OBSTRUCTIONS ENCOUNTERED (EXISTING PILES, DEBRIS, Boulders) SHALL BE BY PASSED BY SPUDDING OR DRILLED THROUGH.

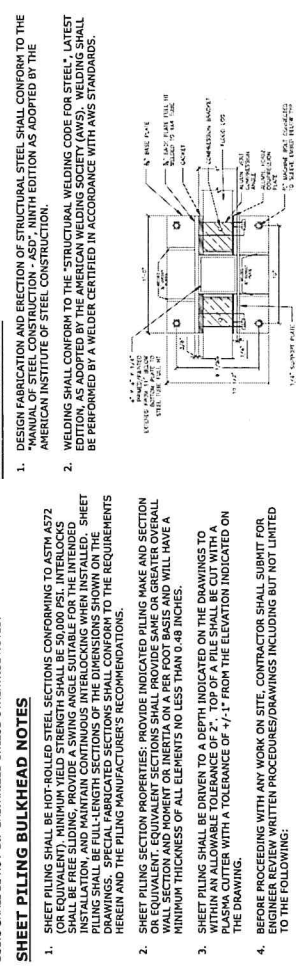
11. THE CONTRACTOR SHALL REMOVE ALL SHEET PILE CUT-OFFS AND OTHER DEBRIS FROM THE JOB SITE.

12. WELDING SHALL CONFORM TO THE "STRUCTURAL WELDING CODE FOR STEEL", LATEST EDITION, AS ADOPTED BY THE AMERICAN WELDING SOCIETY (AWS). WELDING SHALL BE PERFORMED BY A WELDER CERTIFIED IN ACCORDANCE WITH AWS STANDARDS.

**STRUCTURAL STEEL**

1. DESIGN FABRICATION AND SECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE "MANUAL OF STEEL CONSTRUCTION - ASD", NINTH EDITION AS ADOPTED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.

2. WELDING SHALL CONFORM TO THE "STRUCTURAL WELDING CODE FOR STEEL", LATEST EDITION, AS ADOPTED BY THE AMERICAN WELDING SOCIETY (AWS). WELDING SHALL BE PERFORMED BY A WELDER CERTIFIED IN ACCORDANCE WITH AWS STANDARDS.



**TYPICAL STOP LOG CHANNEL SUPPORT - PLAN**  
 (FULL HEIGHT)  
 N.T.S.

**TYPICAL STOP LOG CHANNEL SUPPORT - ELEVATION**  
 (FULL HEIGHT)  
 N.T.S.

**GENERAL NOTES**

SPECIFICATIONS: MAINE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS MARCH 2020, SUPPLEMENTAL SPECIFICATIONS JUNE 2021, AND DIESEL DRIVEN, SINGLE STROKE, SUITABLE FOR THE TOTAL WEIGHT OF THE PILE AND THE CHARACTER OF SUBSURFACE MATERIAL TO BE ENCOUNTERED. IF UNABLE TO REACH PILE TIP ELEVATIONS, NOTIFY THE ENGINEER BEFORE PROCEEDING WITH PILE OPERATIONS.

6.1. SHEET PILING SHALL BE DRIVEN WITH THE PROPER SIZE HAMMER AND BY APPROVED METHODS SO AS NOT TO SUBJECT THE PILING TO DAMAGE AND TO MAINTAIN THE PILING IN PROPER ALIGNMENT DURING DRIVING OPERATIONS. PROTECTIVE CAP SHALL BE EMPLOYED IN DRIVING WHEN USING IMPACT HAMMERS TO PREVENT DAMAGE TO THE TOPS OF PILING.

6.2. PILING DAMAGED DURING DRIVING OR DRIVEN OUT OF INTERLOCK SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO OWNER. PILING SHALL BE DRIVEN WITHOUT THE AID OF A WATER JET.

7. SHEET PILING SHALL BE PROVIDED AS ONE PIECE. NO SPLICES WILL BE ALLOWED.

8. SHEET PILING SHALL BE CAREFULLY LOCATED AS SHOWN ON THE DRAWINGS. TEMPORARY WALES, TEMPLATES, OR GUIDE STRUCTURES SHALL BE PROVIDED TO ENSURE THAT THE PILING IS PLACED AND DRIVEN TO THE CORRECT ALIGNMENT.

9. WHERE DRIVEN SHEET PILING HAVE EXCEEDED SPECIFIED TOLERANCES, THE CONTRACTOR SHALL REMOVE SUCH PILING AND DRIVE SUBSTITUTE PILING AT NO ADDITIONAL COST TO OWNER. DETAILS OF SUBSTITUTE PILING SHALL BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO INSTALLATION.

10. ALL SHEET PILING SHALL BE ADVANCED TO THE MINIMUM TIP PENETRATION INDICATED IN CONTRACT DRAWINGS. ANY OBSTRUCTIONS ENCOUNTERED (EXISTING PILES, DEBRIS, Boulders) SHALL BE BY PASSED BY SPUDDING OR DRILLED THROUGH.

11. THE CONTRACTOR SHALL REMOVE ALL SHEET PILE CUT-OFFS AND OTHER DEBRIS FROM THE JOB SITE.

12. WELDING SHALL CONFORM TO THE "STRUCTURAL WELDING CODE FOR STEEL", LATEST EDITION, AS ADOPTED BY THE AMERICAN WELDING SOCIETY (AWS). WELDING SHALL BE PERFORMED BY A WELDER CERTIFIED IN ACCORDANCE WITH AWS STANDARDS.

**SHEET PILING BULKHEAD NOTES**

1. SHEET PILING SHALL BE HOT-ROLLED STEEL SECTIONS CONFORMING TO ASTM A572 (OR EQUIVALENT). MINIMUM YIELD STRENGTH SHALL BE 50,000 PSI. INTERLOCKS SHALL BE FREE SLIDING, PROVIDE A SWING ANGLE SUITABLE FOR THE INTENDED APPLICATION. SHEET PILING SHALL BE FULL-LENGTH SECTIONS OF THE DIMENSIONS SHOWN ON THE DRAWINGS. SPECIAL FABRICATED SECTIONS SHALL CONFORM TO THE REQUIREMENTS HEREIN AND THE PILING MANUFACTURER'S RECOMMENDATIONS.

2. SHEET PILING SECTION PROPERTIES: PROVIDE INDICATED PILING MAKE AND SECTION OR EQUIVALENT. EQUIVALENT SECTIONS SHALL PROVIDE SAME OR GREATER OVERALL WALL SECTION AND MOMENT OF INERTIA ON A PER FOOT BASIS AND WILL HAVE A MINIMUM THICKNESS OF ALL ELEMENTS NO LESS THAN 9/16 INCHES.

3. SHEET PILING SHALL BE DRIVEN TO A DEPTH INDICATED ON THE DRAWINGS TO AN ALLOWABLE TOLERANCE OF +/- 1" FROM THE ELEVATION INDICATED ON THE DRAWING.

4. BEFORE PROCEEDING WITH ANY WORK ON SITE, CONTRACTOR SHALL SUBMIT FOR ENGINEER REVIEW WRITTEN PROCEDURES/DRAWINGS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

4.1. PILE HANDLING/DRIVEN EQUIPMENT AND METHOD OF INSTALLATION.

4.2. MANUFACTURER'S MILL CERTIFICATION THAT MEETS OR EXCEEDS SPECIFIED STEEL REQUIREMENTS.

4.3. SHOP DRAWINGS THAT SHALL IDENTIFY PILE SECTION PROPERTIES AND WALL THICKNESS, PILE LENGTH PRIOR TO DRIVING, LOCATIONS AND TYPES OF WELDS, CORNER DETAILS, CLOSURE/TIE-IN DETAILS AT EXISTING SHEET PILE WALLS AND CUT-OFF ELEVATIONS.

5. THE CONTRACTOR SHALL LOG EACH SHEET PILE AND MAINTAIN A RECORD WITH THE FOLLOWING INFORMATION:

5.1. DATE OF INSTALLATION.

5.2. LOCATION OF IDENTIFICATION MARKS.

5.3. HAMMER EQUIPMENT AND OPERATION.

5.4. LENGTH FROM TIP TO CUT-OFF.

5.5. CUT-OFF ELEVATION.

5.6. PLUMB (DEVIATION FROM VERTICAL, INCHES PER FOOT).

5.7. IF SHEET PILING ARE IMPACT DRIVEN TO INDICATED TIP ELEVATION, RECORD BLOW COUNTS PER FOOT FOR THE LENGTH OF PILE DRIVEN.

5.8. COMPLETE LOGS AT THE END OF EACH DAY'S WORK AND IMMEDIATELY SUBMIT (3) LEGIBLE COPIES SIGNED BY THE CONTRACTOR'S REPRESENTATIVE TO THE PORTS REPRESENTATIVE.